

NOT FOR CONSTRUCTION

THE CUSTOM HOUSE PLAN

NEW CONSTRUCTION



GET WHAT YOU ARE LOOKING FOR

© COPYRIGHT BY RUMEL DESIGN & ENGINEERING ALL RIGHTS RESERVED.

PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

GENERAL NOTE:

1.THESE NOTES SHALL APPLY TO ALL DRAWINGS UNLESS NOTED OTHERWISE OR SHOWN. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND THEY SHALL APPLY GENERALLY THROUGHOUT SIMILAR CONDITIONS. ALL OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS AND/OR GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BY THE CONTRACTOR /BUILDER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.

2. ALL CONSTRUCTION SHALL CONFORM TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL LOCAL CODES PRESENTLY IN EFFECT UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED.

3. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL SUPERVISE AND DIRECT WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT/ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT/ENGINEER DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, AND THEREFORE THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.

4. ANYONE SUPPLYING LABOR AND/OR MATERIALS TO THE PROJECT SHALL CAREFULLY EXAMINE ALL SUBSURFACES TO RECEIVE WORK. ANY CONDITIONS DETRIMENTAL TO WORK SHALL BE REPORTED IN WRITING TO THE CONTRACTOR PRIOR TO BEGINNING WORK. COMMENCEMENT OF WORK SHALL IMPLY ACCEPTANCE OF ALL SUBSURFACES.

5. ANY MATERIALS STORED AT THE SITE SHALL BE COMPLETELY SUPPORTED FREE OF THE GROUND, COVERED AND OTHERWISE PROTECTED TO AVOID DAMAGE FROM THE ELEMENTS.

6. THE CONTRACTOR /BUILDER SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, LICENSES, AND ALL UTILITY CHARGES, AND ARRANGE FOR ALL REQUIRED INSPECTIONS.

7. THE CONTRACTOR /BUILDER SHALL BE RESPONSIBLE FOR COORDINATING BUILDING & SITE UTILITIES BETWEEN ARCHITECTURE, CIVIL, & MEP DRAWINGS. THE CONTRACTOR SHALL ALSO CONTACT ALL APPLICABLE UTILITY COMPANIES & PROVIDE CONDUIT & OTHER FACILITIES AS REQUIRED.

8. THE CONTRACTOR /BUILDER SHALL VERIFY ALL DIMENSIONS & CONDITIONS ON THE JOB SITE PRIOR TO THE CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES. IN CASES OF DISCREPANCY CONCERNING DIMENSIONS, QUANTITIES AND LOCATION, THE CONTRACTOR SHALL, IN WRITING, CALL TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES BETWEEN SPECIFICATIONS, PLANS, DETAILS OR SCHEDULES. THE ARCHITECT WILL THEN INFORM THE CONTRACTOR, IN WRITING, WHICH DOCUMENT TAKES PRECEDENCE. THERE SHALL BE NO ADJUSTMENT TO THE COST OR TIME OF THE WORK RESULTING FROM CLARIFICATION OF SUCH DISCREPANCIES.

9. DIMENSIONS ON DRAWINGS ARE SHOWN TO FINISHED FACE OF WALLS AND PARTITIONS OF EXISTING OR NEW CONSTRUCTION UNLESS NOTED OTHERWISE. CEILING HEIGHT DIMENSIONS AND ALL OTHER VERTICAL DIMENSIONS ARE TO THE FINISHED FLOOR SURFACE UNLESS NOTED OTHERWISE.

10. ALL MATERIALS SPECIFIED OR NOTED SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

11. THE CONTRACTOR /BUILDER SHALL BE RESPONSIBLE FOR SUBMITTING SHOP DRAWINGS, PRODUCT DATA, OR SAMPLES FOR CASEWORK, FINISHES, DOORS, FRAMES, HARDWARE, MECHANICAL, ELECTRICAL, AND PLUMBING FIXTURES, AND OTHER ITEMS REQUIRING ARCHITECTS OR CLIENT'S REVIEW FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS, AND FOR ALL ITEMS WHICH ALLOWED CONTRACTOR OPTIONS. PRIOR TO FORWARDING TO THE ARCHITECT FOR REVIEW, THESE SUBMITTALS MUST BE REVIEWED BY THE CONTRACTOR FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND OPERATIONS OF CONSTRUCTION AND SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR /BUILDER. THE CONTRACTOR /BUILDER SHALL AFFIX A STAMP TO SUBMITTAL INDICATING HIS REVIEW. SUBMITTALS FORWARDED WITHOUT A STAMP WILL BE RETURNED. ALL SUBMITTALS MUST BE REVIEWED BY THE ARCHITECT PRIOR TO CONSTRUCTION.

12. CONTRACTOR SHALL GUARANTEE ALL WORK AGAINST FAULT OF ANY MATERIAL OR WORKMANSHIP FOR A PERIOD OF NOT LESS THAN ONE YEAR AFTER COMPLETION OR ACCEPTANCE. FAULTY WORK SHALL BE REPLACED OR REPAIRED AS REQUIRED AT NO COST TO THE OWNER.

13. CONTRACTOR SHALL COORDINATE WITH OWNER ALL ITEMS TO BE SALVAGED PRIOR TO SUBMISSION OF BIDS AND START OF CONSTRUCTION. OWNER SHALL HAVE SALVAGE RIGHTS TO RETAIN ALL REMOVED ITEMS.

14. ALL CHANGES PROPOSED DURING CONSTRUCTION WHICH RESULT IN A CHANGE TO THE CONTRACT TIME AND/OR SUM SHALL BE SUBMITTED TO THE ARCHITECT IN WRITING AND APPROVED BY THE ARCHITECT AND OWNER BEFORE SUCH WORK SHALL COMMENCE.

15. CONTRACTOR SHALL COORDINATE CLEAR OPENINGS FOR ALL APPLIANCES PRIOR TO CONSTRUCTION OF CASEWORK.

16. CONTRACTOR SHALL FURNISH AND INSTALL CONCEALED FIRE-RETARDANT TREATED WOOD BLOCKING BEHIND ALL CABINETS, TOILET ACCESSORIES, PLUMBING FIXTURES, AND OTHER WALL MOUNTED ITEMS AS REQUIRED FOR ADEQUATE SUPPORT.

17. CONTRACTOR SHALL COORDINATE ALL LOCK AND LATCH SETS AND FINAL KEYING WITH OWNER. DOUBLE KEYED LOCKS ARE NOT PERMITTED ON ANY REQUIRED OR MARKED EXIT. MATCH EXISTING KEYING SYSTEM IF ONE IS EXISTING.

18. ALL DOOR HARDWARE ON EXIT DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR EFFORT.

19. CONTRACTOR /BUILDER SHALL PREPARE ALL NEW AND EXISTING SURFACES SCHEDULED TO RECEIVE NEW FINISHES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THE SUBSTRATE & FINISH BEING APPLIED.

20. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING CONSTRUCTION INDICATED TO REMAIN AND SHALL REPAIR AND/OR REPLACE ALL AREAS AND/OR MATERIALS DAMAGED DURING CONSTRUCTION AT A MINIMUM TO THE CONDITION WHICH EXISTED PRIOR TO CONSTRUCTION.

21. ALL NEW GLASS AND GLAZING LOCATED IN HAZARDOUS LOCATIONS AS DEFINED IN IBC SECTION 2406.3 SHALL MEET THE REQUIREMENTS FOR SAFETY GLAZING AS DEFINED IN IBC SECTION 2406.

22. IF THE CONTRACTOR /BUILDER FAILS TO SUBMIT A MATERIAL FOR APPROVAL, THE MATERIAL MAY BE REQUIRED TO BE REMOVED BY HIM EITHER BY DIRECTION OF THE OWNER OR ARCHITECT.

23. THE CONTRACTOR /BUILDER IS TO PROVIDE AS BUILT DRAWINGS IN HARD COPY & AN ELECTRONIC AUTOCAD FILE TO THE OWNER AT THE CONCLUSION OF THE PROJECT.

24. INSTALL ELASTOMERIC JOINT SEALER AROUND ALL PIPES, DUCTWORK, & STRUCTURE PASSING THRU INTERIOR NON-RATED CONCRETE AND MASONRY WALLS, GYPSUM BOARD PARTITIONS, AND CONCRETE FLOOR/ROOF SLABS. FOR FIRE RATED INTERIOR CONCRETE AND MASONRY WALLS, GYPSUM BOARD PARTITIONS, AND CONCRETE FLOOR/ROOF SLABS SEAL ALL PIPES, DUCTWORK, AND STRUCTURE. INSTALL FIRESTOP MATERIALS IN ALL GAPS PRIOR TO SEALANT APPLICATION. INSTALL SEALER ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

25. THE CONTRACTOR /BUILDER SHALL BE RESPONSIBLE TO REMOVE OR DISBURSE ANY EXCESS MATERIAL FROM PROJECT SITE.

SYMBOLS:



DETAIL INDICATOR - REFERENCE & DETAIL INDICATOR - ITEM



DETAIL INDICATOR - SECTION & DETAIL INDICATOR - SECTION ITEM



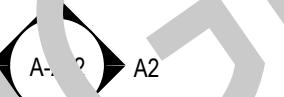
SECTION INDICATOR - PARTIAL BUILDING/WALL & DETAIL INDICATOR - AREA



SECTION INDICATOR - BUILDING



ELEVATION INDICATOR - EXTERIOR



ELEVATION INDICATOR - INTERIOR, SINGLE & MULTIPLE VIEW



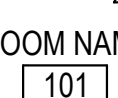
MATCH LINE INDICATOR



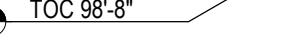
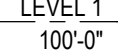
REFERENCE GRID WITH REFERENCE GRID LINES



REVISION INDICATOR & REVISION CLOUD



ROOM IDENTIFIER WITH ROOM NAME & NUMBER



ELEVATION INDICATOR - LEVEL & SPOT



WINDOW OR LOUVER IDENTIFIER



KEYNOTE INDICATOR



PLAN NORTH & TRUE NORTH INDICATOR

PROJECT DATA

BUILDING DATA

NEW CONSTRUCTION
SINGLE FAMILY RESIDENCE

PHASED SURVEY

SQUARE FOOTAGE (MAIN HOUSE):

PROJECT LOCATION

LOCATION MAP

VICINITY MAP

PROJECT CONTACT INFO:

SCOPE OF WORK:

APPLICABLE CODES

INTERNATIONAL BUILDING CODE
INTERNATIONAL RESIDENTIAL CODE
INTERNATIONAL FIRE CODE
INTERNATIONAL PLUMBING CODE
INTERNATIONAL MECHANICAL CODE
INTERNATIONAL FUEL GAS CODE
NATIONAL ELECTRICAL CODE
INTERNATIONAL ENERGY CONSERVATION CODE

OWNER:

DESIGNER:

BUILDER/CONTRACTOR:

SHEET INDEX:

Sheet Name	Sheet Number
COVER SHEET	A-0.0
NOTES & DESIGN DATA	A-1.0
FIRST FLOOR PLAN	A-2.0
2ND FLOOR PLAN	A-3.0
FRONT & REAR ELEVATION	A-4.0
LEFT & RIGHT ELEVATION	A-5.0
ROOF PLAN	A-6.0
BUILDING SECTION-1&2	A-7.0
FIRST & SECOND FLOOR ELECTRICAL PLAN	E-1.0
PLUMBING PLAN	P-1.0
FIRST & SECOND FLOOR PLUMBING	P-2.0
FOUNDATION PLAN	S-1.0
FOUNDATION DETAILS & TYPICAL WALL SECTION	S-2.0
TYPICAL FRAMING DETAILS	S-3.0

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:

COVER SHEET

DRAWN BY:

RDE

CHECKED BY:

RDE

Project Status

DOCUMENT ISSUED

5/30/2025 4:51:37 PM

SCALE: 1/4" = 1'-0"

ARCH D 24" X 36"

SHEET NO.

A-0.0

NOT FOR CONSTRUCTION

GENERAL NOTES:
In case of conflict between the General Notes below and the specifications the more rigid requirement shall govern unless amended in writing by the Engineer.

DESIGN DATA
1.Design Codes
- (All latest editions unless noted)
-American Concrete Institute (ACI)
-American Institute of Steel Construction (AISC)
-American Welding Society (AWS)
-Southern Standard Building Code (SSBC)
-American National Standards Institute, Inc. (ANSI A58.1-1982)
Minimum Design Loads for Buildings and Other Structures

2.Material Specifications and Design Stresses.
-Anchor Bolts and Embedded Steel.....Fy = 36,000 psi (ASTM A36)
-Structural Steel UNO.....Fy = 36,000 psi (ASTM A36)
-Cast-in-place Concrete
-Footings.....F'c = 3,000 psi at 28-days.
-Interior slabs-on-grade.....f'c = 3,000 psi at 28-days.
-Ext. exposed concrete (air entrained).....F'c = 4,000 psi at 28-days.
-Reinforcing Steel
-#2 and #3 bar3 only.....Fy = 40,000 psi (ASTM A615, Grade 40)
-#4 and larger bars.....Fy = 60,000 psi (ASTM A615, Grade 60)

3.Design Soil Bearing Pressures.
-Footings on natural soils are designed for a maximum soil bearing pressure of 2,000 psf.
-Footings on compacted engineered fill are designed for maximum soil bearing pressure of 2,000 psf.
-If the soil at the footing bearing elevations shown is of questionable bearing value, the Engineer or Architect shall be notified immediately.
-After footing excavations are completed and before placing concrete, the excavated area shall be inspected and approved by the Owner selected independent testing laboratory as specified.

GENERAL INFORMATION
1. All columns shall be centered on grid lines unless noted otherwise.
2. All column footings shall be centered on columns unless noted otherwise.
3. All wall footings shall be centered on walls unless noted otherwise.
4. For concrete reinforcing at corners, see typical corner bar detail.
5. For slab-on-grade construction joint detail, see typical slab-on-grade detail.
6. All fill material under structure shall be sandy clay or clayey sand exhibiting a liquid limit less than 35. Fill material shall be placed in loose lifts not to exceed 8" and compacted to a density of not less than 95% of Modified Proctor Maximum Dry Density (ASTM D-1557) at or slightly wet of optimum moisture content. In place moisture and density of each lift shall be determined by in-situ field tests prior to placing additional fill.
7. Where noted C.J. on plan, provide Keyed Joint in floor slab.
8. A 6-mil polyethylene film vapor barrier shall be placed below all interior slabs-on-grade.
9. Provide a 4-inch clean medium to coarse sand or gravel compacted drainage fill below all interior slabs-on-grade.
10. Hvac furnace will be placed in attic with 22" x 30 attic access opening on the second floor.

CAST-IN-PLACE CONCRETE
1. Arrangement and bending of reinforcing steel shall be in accordance with ACI detailing manual, latest edition.
2. Reinforcing steel shall be new and all bars over #2 shall be deformed.
3. Where reinforcing bars are shown continuous, lap bars 36-bar diameters or 24-bar diameters at tension or compression splices respectively (12" minimum).
4. Provide suitable wire spacers, chairs, ties, etc., for supporting reinforcing steel in the proper position while placing concrete.
5. Concrete protective covering for reinforcement at surfaces not exposed directly to the ground shall be 3/4" for slabs, joists, and walls and 1-1/2" for beam stirrups and column ties or spirals.
6. Concrete protective covering for reinforcement at surfaces which will be exposed to the weather or be in contact with the ground shall be 2" for bars larger than #5 and 1-1/2" for #5 bars or smaller. Provide 3" cover below and at ends of footing bars.
7. Location and sizes of openings, sleeve, etc., required for other trades must be verified by these trades before placing concrete.

CONCRETE MASONRY UNITS
1. Place vertical reinforcing bars at corners, jambs of openings, below beam bearing, and in walls as indicated on the drawings.
2. Dowel vertical reinforcing bars out of the structure below with bars of the same size and spacing above.
3. Lap splice bars in masonry 40 bar diameters.
4. Place horizontal bars in 8" deep bond beam units at top of wall.
5. Continue bond beam units and reinforcing uninterrupted around corners and across wall intersections.
6. Metal masonry-course reinforcing shall be truss type conforming to ASTM A82, not less than 9 gauge, galvanized at exterior walls. Furnish material with prefabricated corners and tees. Reinforcing shall be used in all partitions, spaced 16" o.c., vertically, joints lapped 6".Place reinforcing in first bed joint above and below all concrete slabs and wall openings.
7. Load bearing concrete masonry units shall conform to ASTM C90, Grade N, Type 1, with minimum average compressive strength on net area of 1,100 psi and minimum net area compressive strength of individual units shall be 1,500 psi.
8. Non-load bearing concrete masonry units shall conform to ASTM C129, Type 1.
9. Mortar shall be Type N conforming to property or protection requirements of ASTM C 176.
10. All masonry fill concrete shall have a minimum strength at 28-days f'c = 3,000 psi, maximum aggregate shall be 3/8" and shall be placed in maximum lifts of 4'-0".
11. All grout shall conform to ASTM C476, Fine Grout.

PLUMBING NOTES:
1. PLUMBING SHALL MEET ALL LOCAL CODES.
2. IF WATER HEATER IS LOCATED ANYWHERE, EXCEPT GARAGE OR BASEMENT, PROVIDE METAL DRAIN PAN WITH AUXILLARY DRAIN TO EXTERIOR.
3. PROVIDE INSIDE MAIN WATER CUT-OFF.
4. PROVIDE BLOCKING IF WALL PLATES OR JOISTS ARE CUT INTO.

INSULATION NOTES:
1. PROVIDE R-38 BATT INSULATION IN 2X6 WALLS, R-13 IN 2X4 WALLS, MINIMUM R-30 INSULATION IN FLAT CEILINGS AND MINIMUM R-30 INSULATION IN VAULTED CEILINGS, ALLOW 1/2" MINIMUM AIRSPACE BETWEEN SHEATHING AND INSULATION, FACE FOIL DOWN TO WARM SIDE.
2. INSTALL SIDE WALL AND CEILING INSULATION IN CONTINUOUS BLANKETS WITHOUT HOLES FOR ELECTRICAL BOXES, LIGHT FIXTURES OR HEATING DUCTWORK. CAULK ALL OPENINGS IN EXTERIOR WALL CONSTRUCTION.
3. INSTALL 6 MIL POLYETHYLENE VAPOR BARRIER AGAINST INSIDE OF ALL INSULATION. LAP JOINTS 18" MINIMUM.
4. FLOORS OVER UNHEATED SPACE SHALL HAVE R-25 FOIL BACK INSULATION BETWEEN JOISTS.
5. SLAB EDGE INSULATION R-5.
6. HVAC DUCTS LOCATED IN UNHEATED SPACES SHALL BE INSULATED WITH R-38.

ELEVATION NOTES:
1. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS, FOR EXAMPLE, FRONT WALL OF HOUSE, BESIDE PORCH COLUMNS, ETC. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY NECESSARY ADJUSTMENTS TO HOUSE WITH OWNER.
2. PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW, I.E. AT THE REAR OF THE HOUSE AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.
3. PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.
4. EXTERIOR FLASHING SHALL BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.
5. CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATIONS / ROOF VENTS PER LOCAL GOVERNING CODE. INSTALL CONTINUOUS RIDGE VENTILATION AND PAINT TO MATCH ROOF. PROVIDE APPROPRIATE SILL VENTILATION AT OVERHANGS.

FLOOR PLAN NOTES:
1. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
2. WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE, REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
3. PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATIONS,CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASE AS CONSTRUCTED.
4. CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.
5. DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS ONLY.
6. CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
7. BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT., A MINIMUM NET CLEAR OPENABLE WIDTH OF 20" A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 43" FROM FINISH FLOOR.
8. ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUB, whirlpools, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
9. ALL EXPOSED INSULATION SHALL HAVE A FLMES READ RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
10. PROVIDE COMBUSTION AIR VENTS WITH SCREENS FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
11. BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF 100 CFM FAN. RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE.
12. ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OR RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FIRE APPLIANCE.
13. ALL WALLS AND CEILINGS IN GARAGE AND GARAGE STORAGE AREAS TO HAVE TYPE-X GYP. BOARD W/ 1-HOUR FIRE RATING. ALL EXT. DOORS IN GARAGE TO BE METAL OR SOLID CORE DOORS INCLUDING DOORS LEADING HEAT/COOLED PORTION OF RESIDENCE.
14. ALL FIREPLACE CHASE WALLS SHALL BE INSULATED INSIDE AND OUTSIDE. PROVIDE HORIZONTAL "DRAFT STOPS" AT EACH FLOOR LEVEL BY PACKING 6" (R-19) INSULATION BETWEEN 2X4 JOISTS.
15. ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING, TAPE FLOAT AND SAND. (3 COATS) USE 5/8" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER. USE 1/2" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
16. ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.



GET WHAT YOU ARE LOOKING FOR

© COPYRIGHT BY RUMEL DESIGN & ENGINEERING ALL RIGHTS RESERVED.

PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
NOTES & DESIGN DATA

DRAWN BY: RDE

CHECKED BY: RDE

Project Status

DOCUMENT ISSUED

5/30/2025 4:51:37 PM

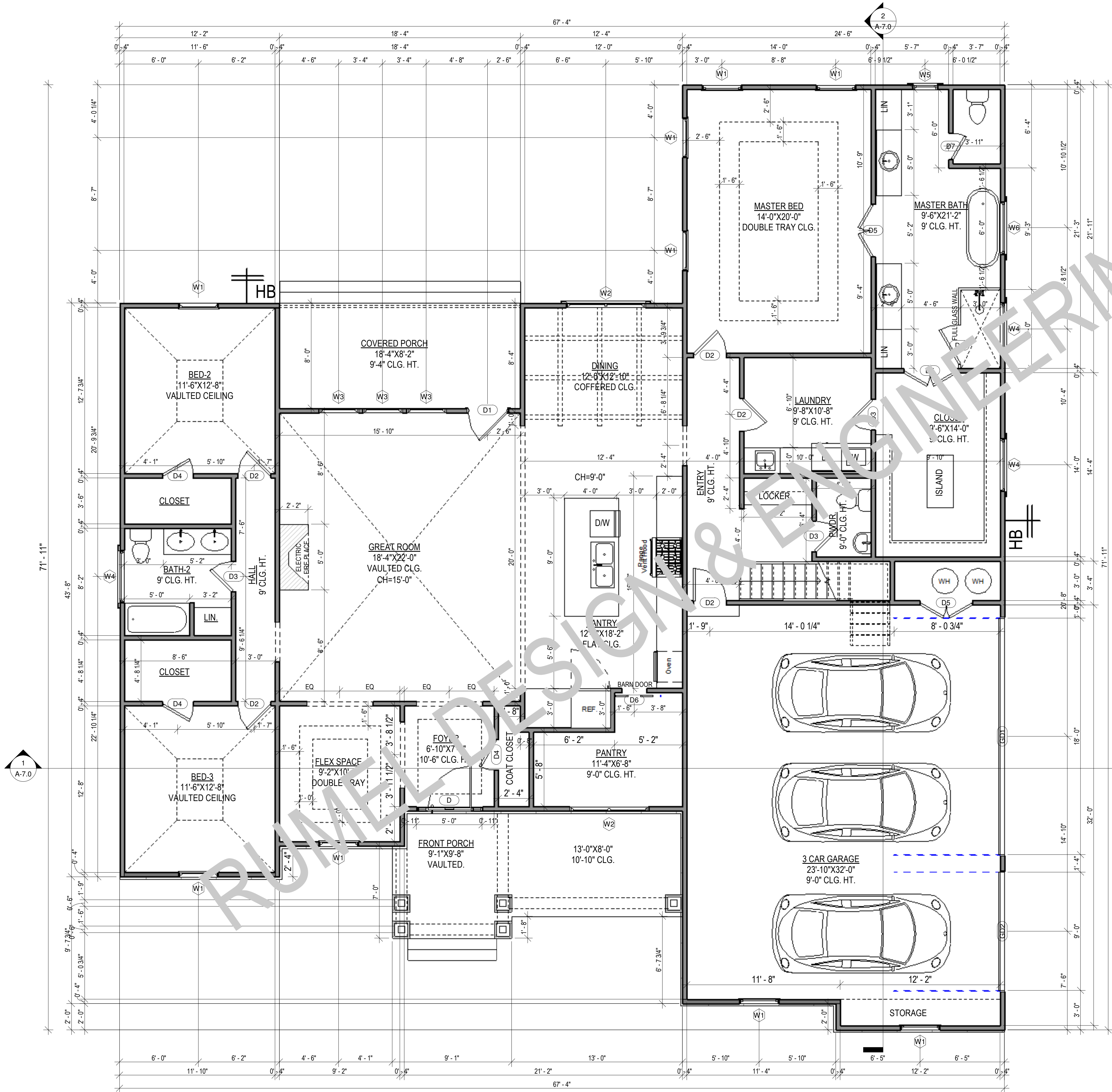
SCALE: As indicated

ARCH D 24" X 36"

SHEET NO.

A-1.0

NOT FOR CONSTRUCTION



1 First Floor Plan
1/4" = 1'-0"

SQUARE FOOTAGE AREA CHART

Name	Area
------	------

1. FIRST FLOOR HEATED	2542 SF
2. 2ND FLOOR HEATED	444 SF
3. 3 CAR GARAGE	793 SF
4. FRONT PORCH	189 SF
5. REAR PORCH	147 SF

TOTAL UNDER ROOF = 4114 SF

TOTAL HEATED AREA = 2986 SF



GET WHAT YOU ARE LOOKING FOR

© COPYRIGHT BY RUMEL DESIGN & ENGINEERING ALL RIGHTS RESERVED.

PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
FIRST FLOOR PLAN

DRAWN BY: RDE
CHECKED BY: RDE

Project Status

DOCUMENT ISSUED

5/30/2025 4:51:37 PM

SCALE: 1/4" = 1'-0"

ARCH D 24" X 36"

SHEET NO.

A-2.0



GET WHAT YOU ARE LOOKING FOR

© COPYRIGHT BY RUMEL DESIGN & ENGINEERING ALL RIGHTS RESERVED.

PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
2ND FLOOR PLAN

DRAWN BY: RDE CHECKED BY: RDE

Project Status

DOCUMENT ISSUED

5/30/2025 4:51:37 PM

SCALE: 1/4" = 1'-0" ARCH D 24" X 36"

SHEET NO.

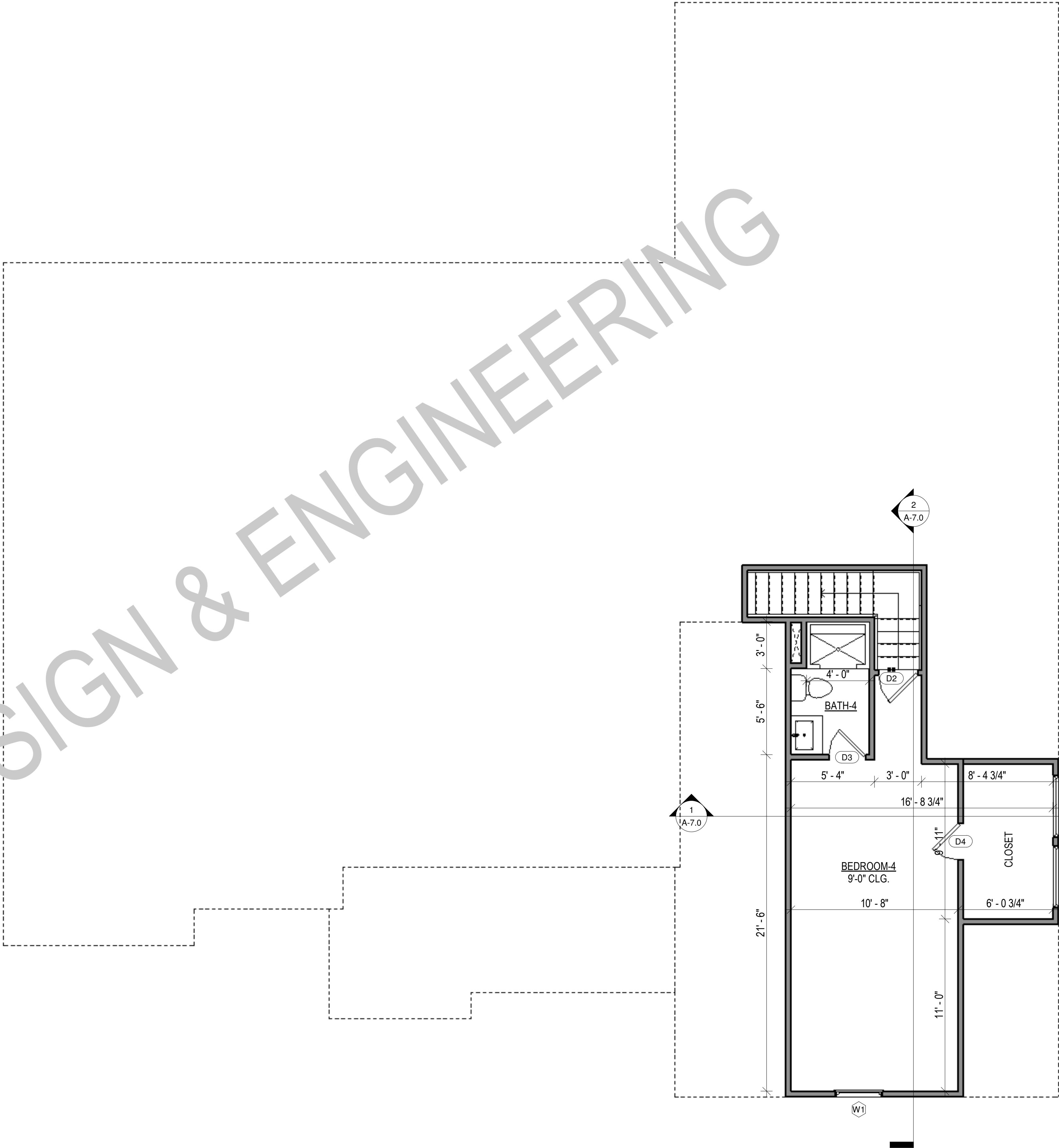
A-3.0

Door Schedule				
Type Mark	Width	Height	Count	Description

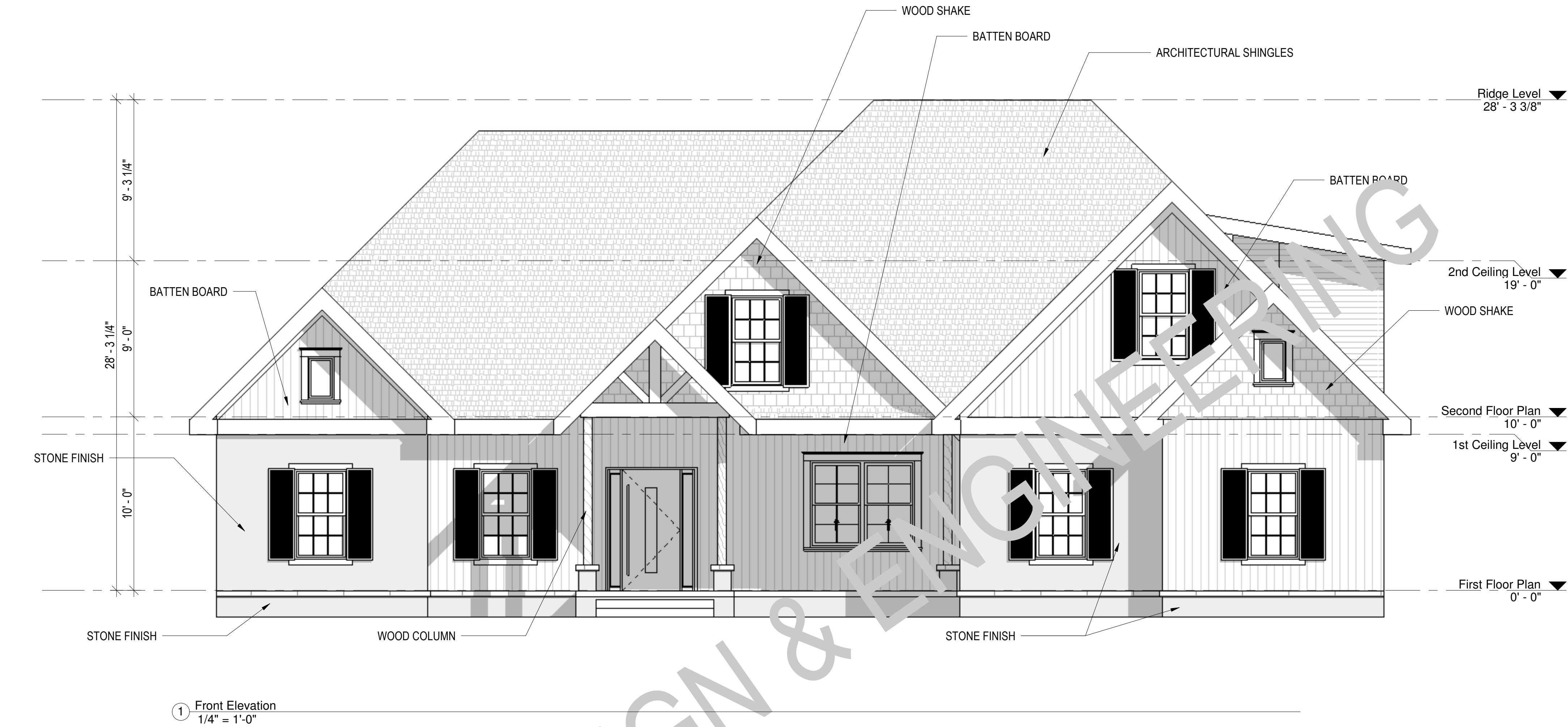
D	3' - 0"	7' - 0"	1	Entry Door
D1	3' - 0"	7' - 0"	1	Exterior Door
D2	2' - 6"	6' - 8"	6	Interior Single Flush
D3	2' - 4"	6' - 8"	4	Interior Single Flush
D4	2' - 4"	6' - 8"	4	Closet Door
D5	4' - 0"	6' - 8"	3	Interior Double Flush
D6	1' - 11"	6' - 8"	1	Barn Door
D7	2' - 0"	6' - 8"	1	Interior Single Flush
D8	3' - 0"	6' - 0"	1	Shower Door
GD1	18' - 0"	8' - 0"	1	Garage Door
GD2	9' - 0"	8' - 0"	1	Garage Door

Window Schedule				
Type Mark	Width	Height	Count	Description

W1	3' - 0"	5' - 2"	11	DOUBLE HUNG
W2	6' - 0"	5' - 0"	2	FIXED DOUBLE HUNG
W3	3' - 0"	7' - 7 3/4"	3	(TRIPLE) DOUBLE HUNG
W4	4' - 0"	1' - 0"	3	FIXED GLASS
W5	1' - 10 1/4"	4' - 6 1/2"	1	DOUBLE HUNG
W6	4' - 0"	4' - 0"	3	FIXED GLASS
W7	1' - 6"	2' - 6"	2	DECORATIVE WINDOW

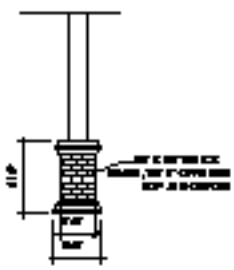


① Second Floor Plan
1/4" = 1'-0"



ELEVATION NOTES:

- GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS, FOR EXAMPLE, FRONT WALL OF HOUSE, BESIDE PORCH COLUMNS, ETC. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY NECESSARY ADJUSTMENTS TO HOUSE WITH OWNER.
- PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW, I.E. AT THE REAR OF THE HOUSE AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.
- PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.
- EXTERIOR FLASHING SHALL BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.
- CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATIONS / ROOF VENTS PER LOCAL GOVERNING CODE. INSTALL CONTINUOUS RIDGE VENTILATION AND PAINT TO MATCH ROOF. PROVIDE APPROPRIATE SOFFIT VENTILATION AT OVERHANGS.



③ COLUMN DETAILS
12" = 1'-0"



GET WHAT YOU ARE LOOKING FOR

© COPYRIGHT BY RUMEL DESIGN & ENGINEERING ALL RIGHTS RESERVED.

PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:

FRONT & REAR
ELEVATION

DRAWN BY:

RDE

CHECKED BY:

RDE

Project Status

DOCUMENT ISSUED

5/30/2025 4:51:38 PM

SCALE: As indicated

ARCH D 24" X 36"

SHEET NO.

A-4.0

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
LEFT & RIGHT
ELEVATION

DRAWN BY: RDE
CHECKED BY: RDE

Project Status

DOCUMENT ISSUED

5/30/2025 4:51:38 PM

SCALE: As indicated
ARCH D 24" X 36"

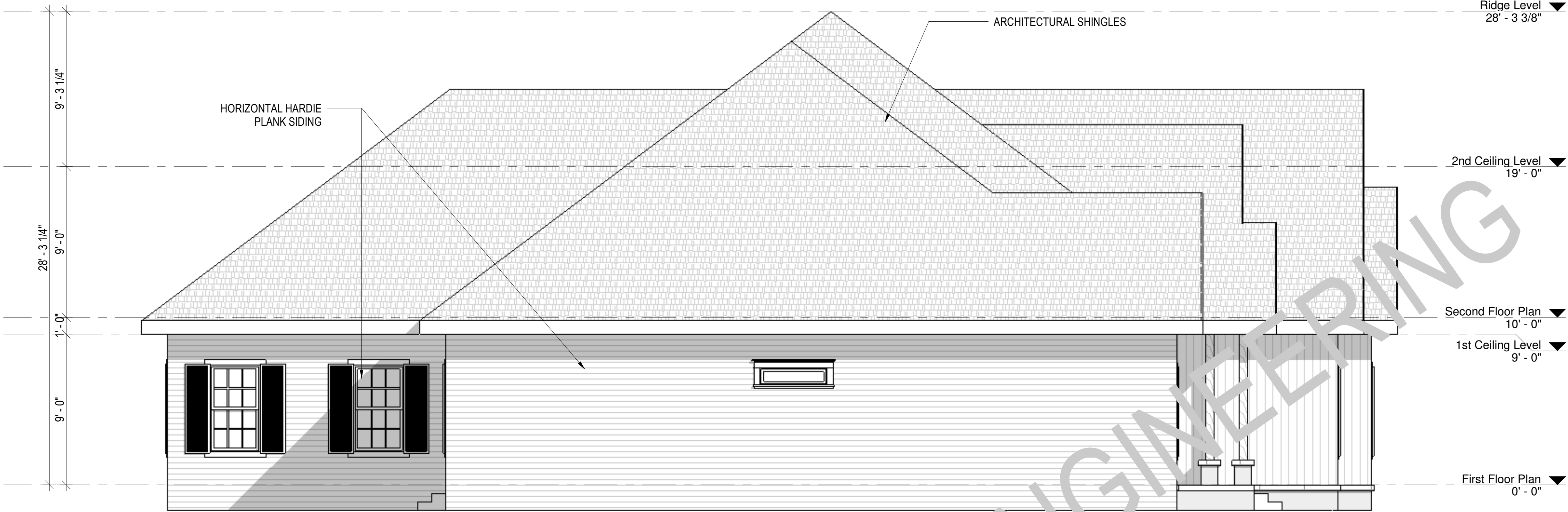
SHEET NO.

A-5.0

ELEVATION NOTES:

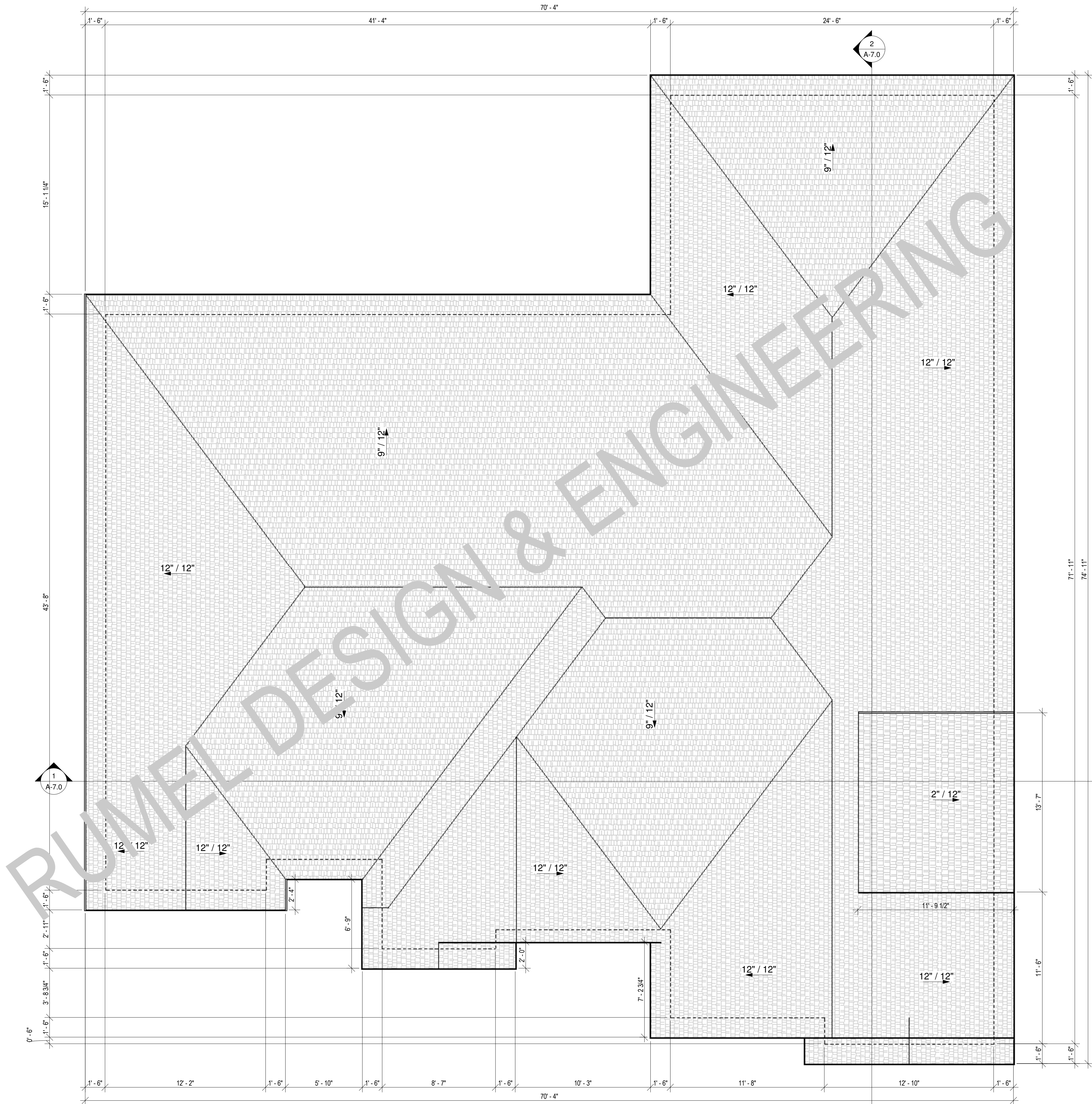
- GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS. FOR EXAMPLE, FRONT WALL OF HOUSE, BESIDE PORCH COLUMNS, ETC. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY NECESSARY ADJUSTMENTS TO HOUSE WITH OWNER.
- PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW, I.E. AT THE REAR OF THE HOUSE AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.
- PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.
- EXTERIOR FLASHING SHALL BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.
- CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATIONS / ROOF VENTS PER LOCAL GOVERNING CODE. INSTALL CONTINUOUS RIDGE VENTILATION AND PAINT TO MATCH ROOF. PROVIDE APPROPRIATE SOFFIT VENTILATION AT OVERHANGS.

1 Left Elevation
1/4" = 1'-0"



2 Right Elevation
1/4" = 1'-0"





1 Roof Plan
1/4" = 1'-0"



GET WHAT YOU ARE LOOKING FOR

© COPYRIGHT BY RUMEL DESIGN & ENGINEERING ALL RIGHTS RESERVED.

PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
ROOF PLAN

DRAWN BY: RDE
CHECKED BY: RDE

Project Status

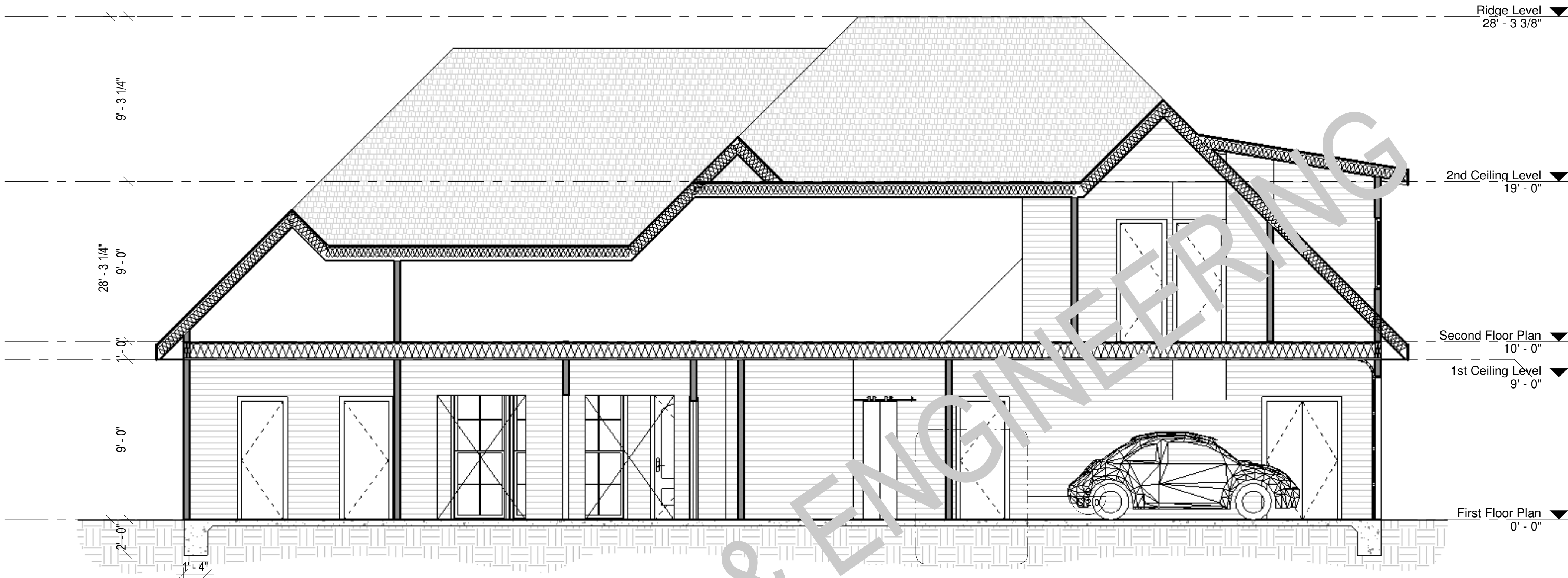
DOCUMENT ISSUED

5/30/2025 4:51:38 PM

SCALE: 1/4" = 1'-0" ARCH D 24" X 36"

SHEET NO.

A-6.0



① Building Section-1
1/4" = 1'-0"



② Building Section-2
1/4" = 1'-0"

PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
**BUILDING
SECTION-1&2**

DRAWN BY: RDE
CHECKED BY: RDE

Project Status

DOCUMENT ISSUED

5/30/2025 4:51:39 PM

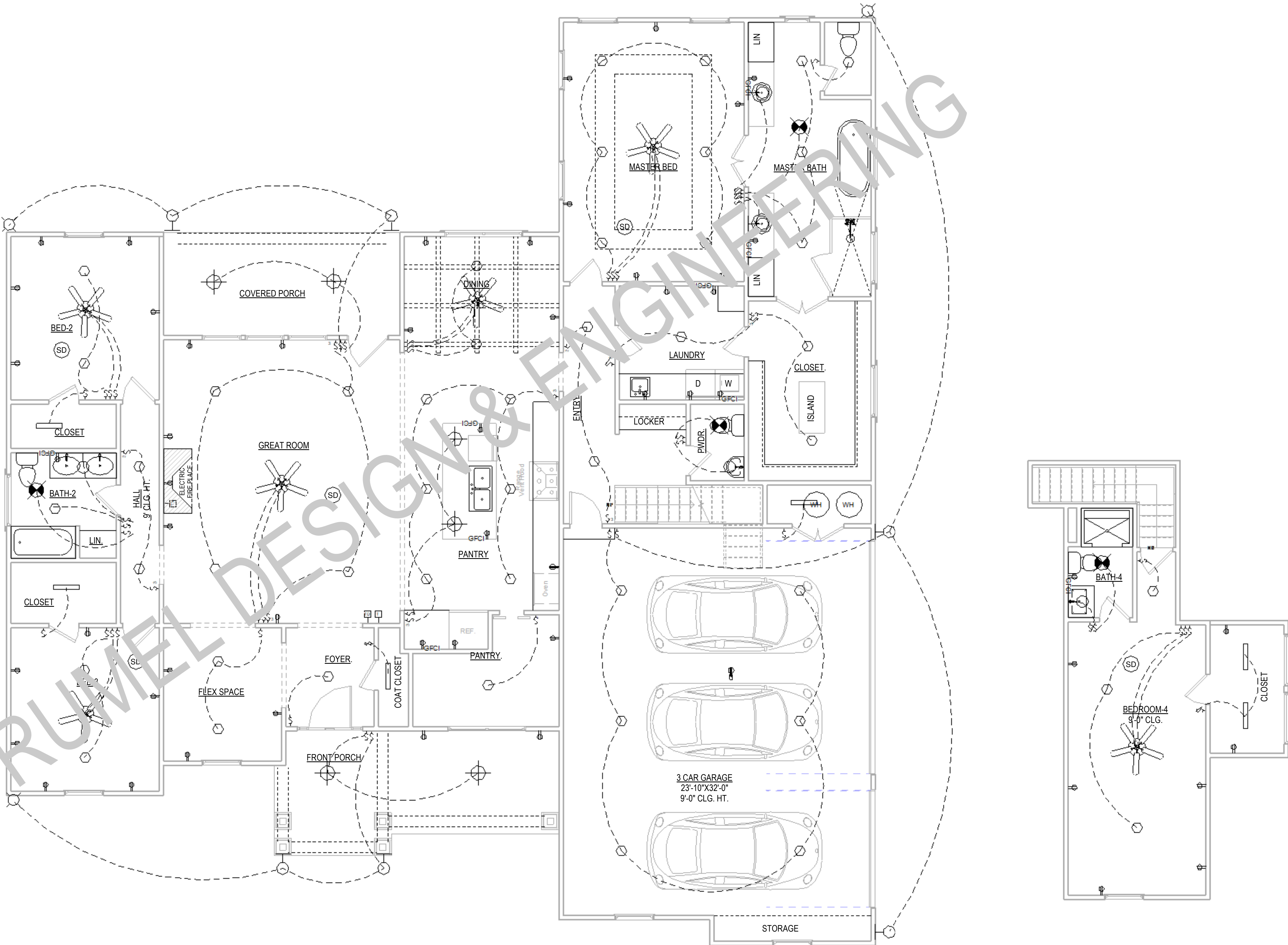
SCALE: 1/4" = 1'-0" ARCH D 24" X 36"

SHEET NO.

A-7.0

ALL ELECTRICAL OUTLETS NOT SPECIFICALLY LOCATED BY DIMENSIONS ARE SUBJECT TO CHANGE TO MEET LOCAL ORDINANCES AND NATIONAL ELECTRICAL CODE

ELECTRICAL LEGEND	
	CEILING FAN WITH LIGHT
	TV CONNECTION
	DATA JACK
	TELEPHONE JACK
	GFCI PROTECTED OUTLET
	STANDARD 110V OUTLET
	STANDARD 220V OUTLET
	PROGRAMMABLE THERMOSTAT
	LIGHT SWITCH
	3-WAY LIGHT SWITCH
	CEILING MOUND RADINAT HEATER
	ELECTRICAL PANEL
	WALL MOUNTED LIGHT FIXTURE
	FLOOD LIGHT FIXTURE
	RECESSED CEILING CAN
	PENDANT LIGHT FIXTURE
	LED STRIP LIGHT
	EXHAUST FAN
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR



1 First Floor Electrical Plan
1/4" = 1'-0"

2 Second Floor Electrical Plan
1/4" = 1'-0"

DESIGN & ENGINEERING

GET WHAT YOU ARE LOOKING FOR

© COPYRIGHT BY RUMEL DESIGN & ENGINEERING ALL RIGHTS RESERVED.

PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

REVISION SCHEDULE:		
NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
FIRST & SECOND FLOOR ELECTRICAL PLAN

BY: RDE RDE

Project Status

DOCUMENT ISSUED

5/30/2025 4:51:40 PM

SCALE: As indicated ARCH D 24" X 36"

SHEET NO.

E-1.0



GET WHAT YOU ARE LOOKING FOR

© COPYRIGHT BY RUMEL DESIGN & ENGINEERING ALL RIGHTS RESERVED.

PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
PLUMBING PLAN

DRAWN BY: RDE
CHECKED BY: RDE

Project Status
DOCUMENT ISSUED
5/30/2025 4:51:40 PM

SCALE: 1/4" = 1'-0" ARCH D 24" X 36"

SHEET NO.

P-1.0

1 Plumbing Plan
1/4" = 1'-0"

PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER:

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:

FIRST & SECOND
FLOOR PLUMBING

DRAWN BY:

RDE

CHECKED BY:

RDE

Project Status

DOCUMENT ISSUED

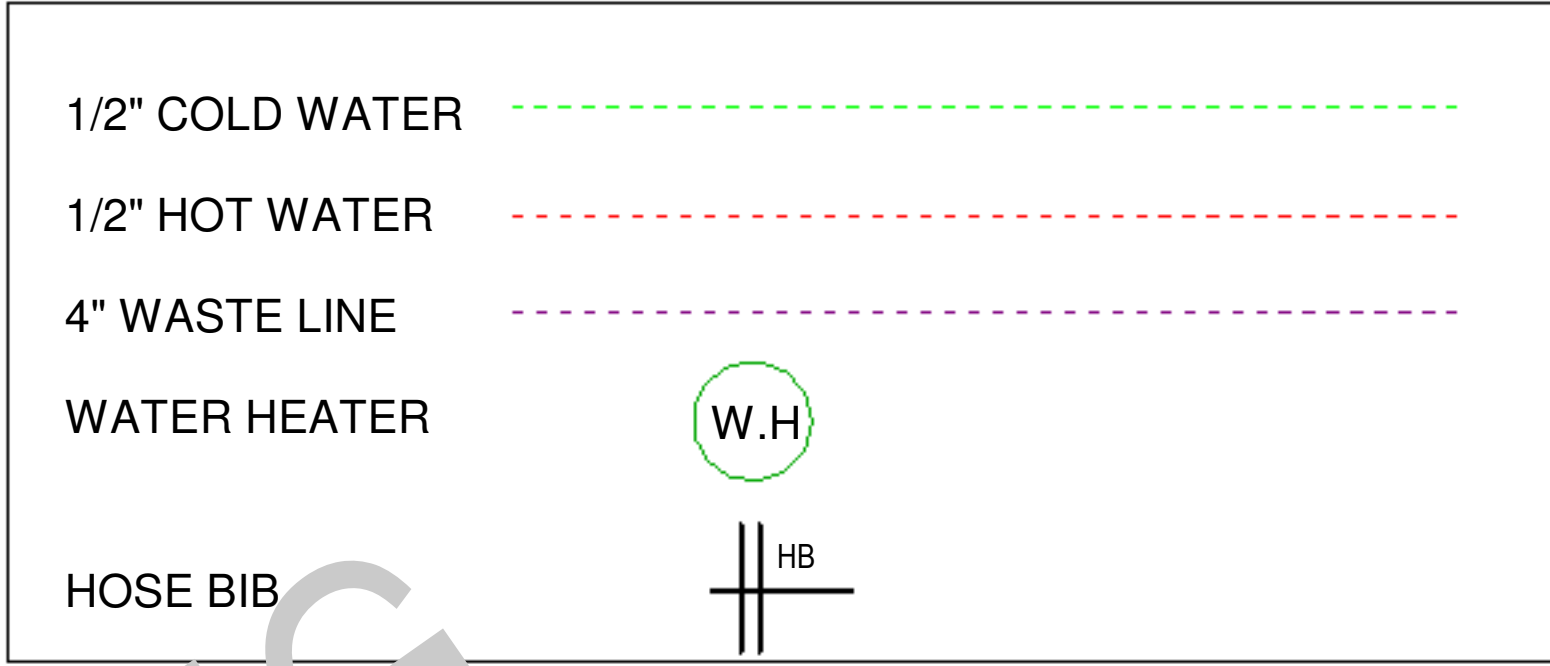
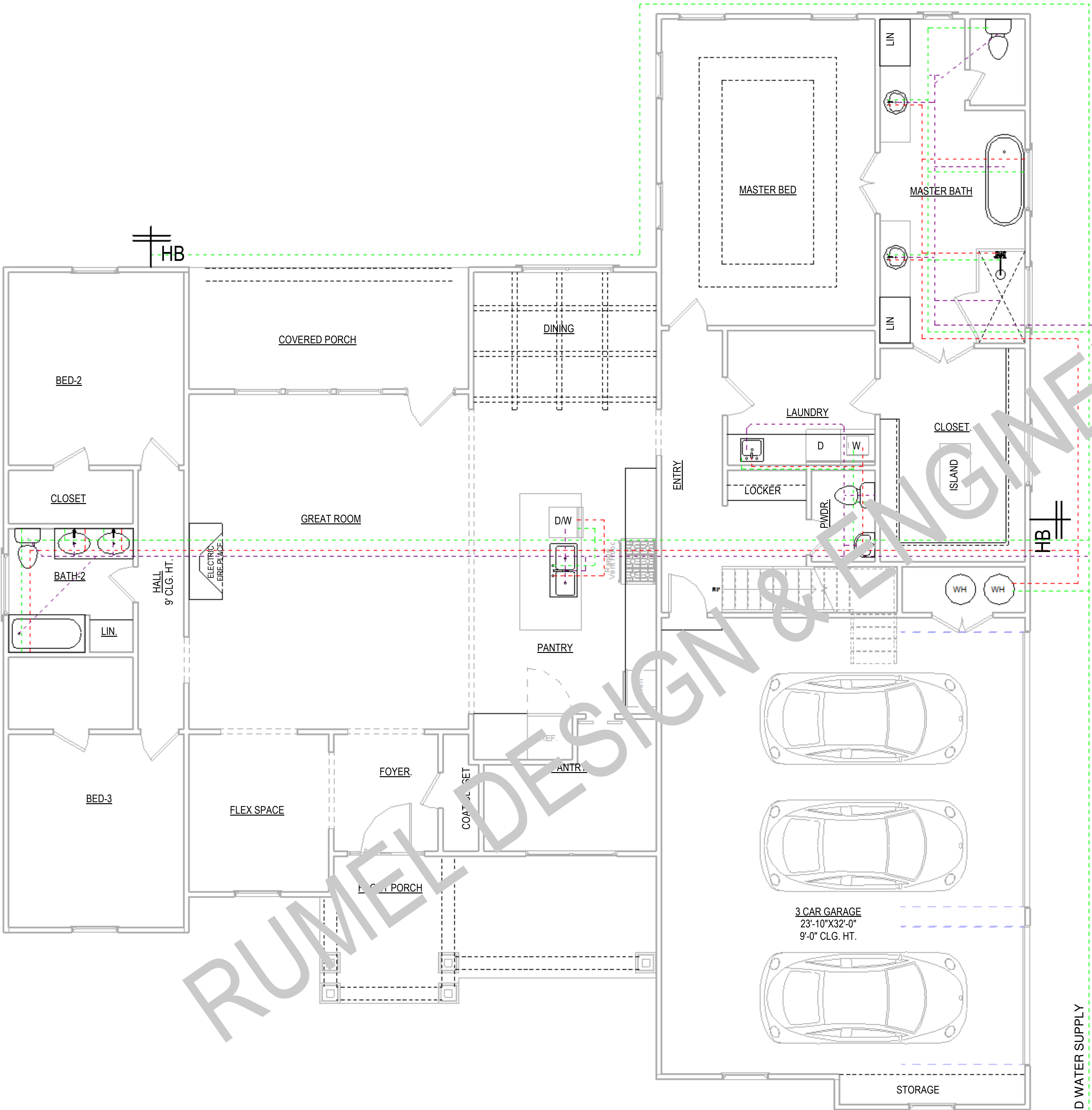
5/30/2025 4:51:40 PM

SCALE: As indicated

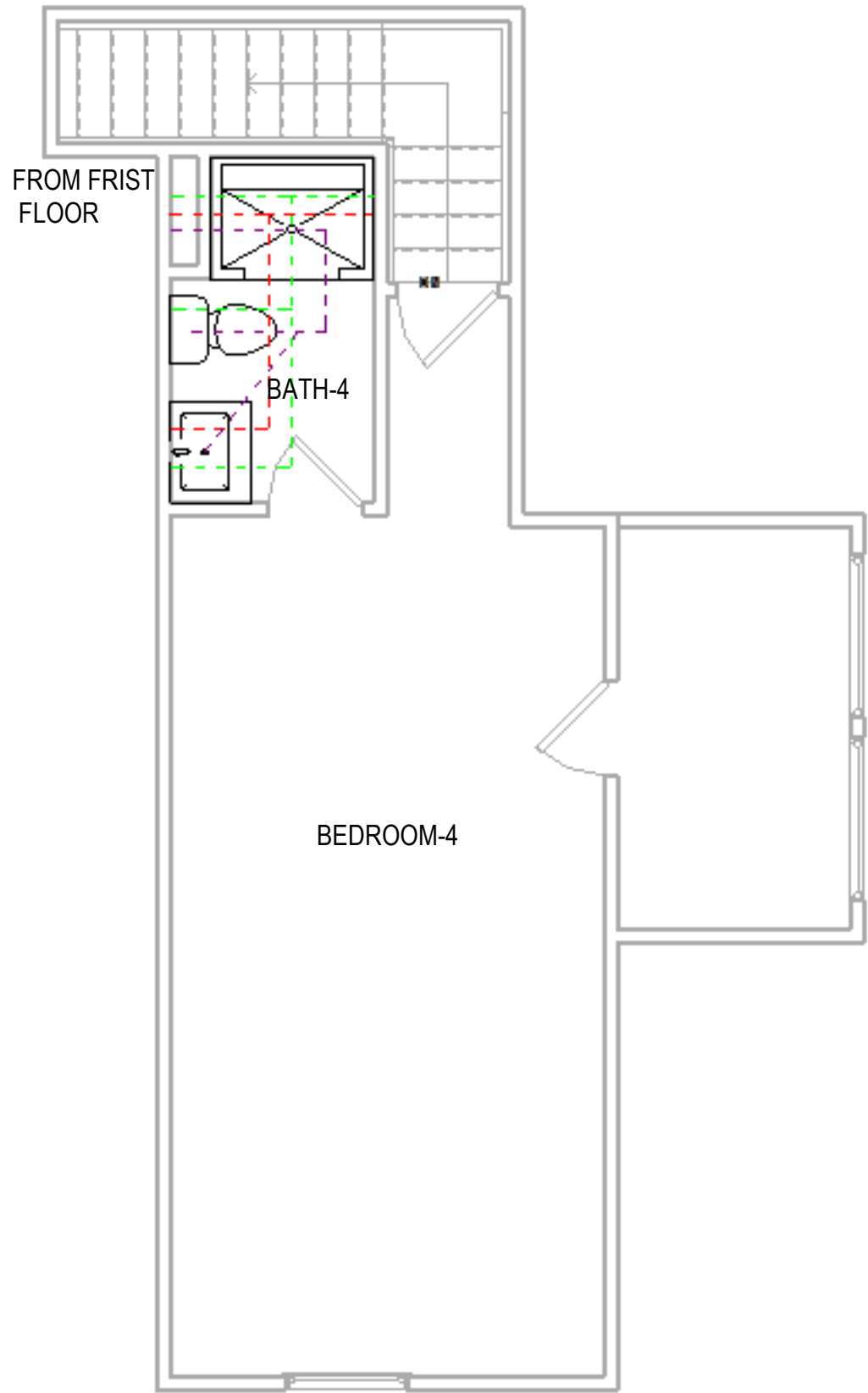
ARCH D 24" X 36"

SHEET NO.

P-2.0

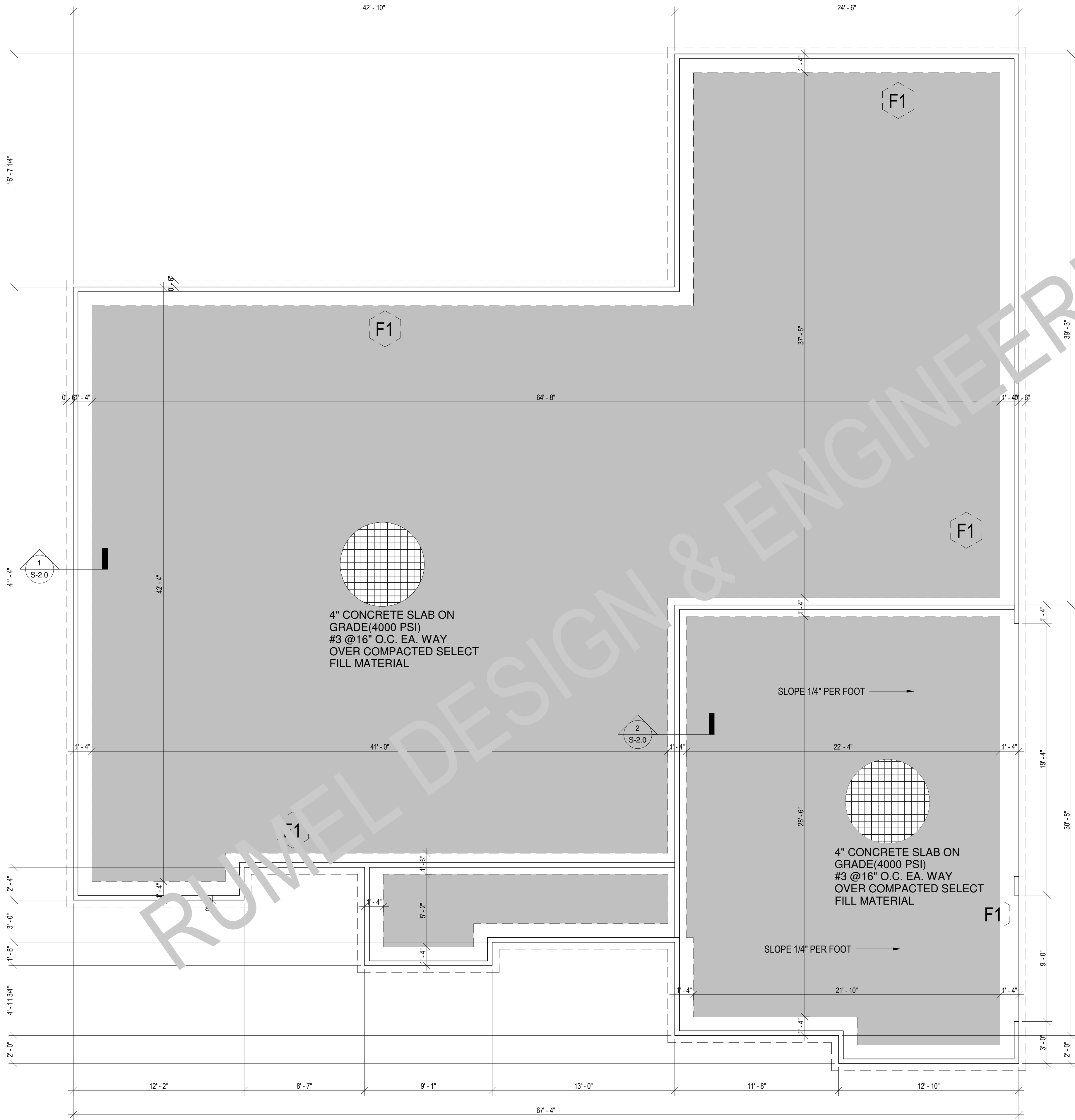


- PLUMBING LEGEND
1 1/2" = 1'-0"
- PLUMBING NOTES:
1. PLUMBING SHALL MEET ALL LOCAL CODES.
 2. IF WATER HEATER IS LOCATED ANYWHERE, EXCEPT GARAGE OR BASEMENT, PROVIDE METAL DRAIN PAN WITH AUXILIARY DRAIN TO EXTERIOR.
 3. PROVIDE INSIDE MAIN WATER CUT-OFF.
 4. PROVIDE BLOCKING IF WALL PLATES OR JOISTS ARE CUT INTO.



1 First Floor Plumbing Plan
1/4" = 1'-0"

2 Second Floor Plumbing Plan
1/4" = 1'-0"



FOUNDATION NOTE:

SPECIFICATION NOTES

1. REINFORCED CONCRETE SHALL CONFORM TO APPLICABLE REQUIREMENTS OF THE 2012 IRC. AND ALL LOCAL CITY OR COUNTY GUIDELINES.
2. ALL CONCRETE USED IN THE FOUNDATIONS AND SLABS ON GRADE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF NOT LESS THAN 3,000 PSI.
3. THE MAXIMUM SLUMP SHALL NOT EXCEED 4 INCHES.
4. PROVED CONTROL JOINT IN ALL EXPOSED SLABS ON GRADE THE MAXIMUM SPACING OF CONTROL JOINTS SHALL BE 20' O.G. UNLESS OTHERWISE NOTED.
5. A CIVIL ENGINEER SHOULD BE CONSULTED TO VERIFY FOUNDATION PLANS AND DELTAS.
6. ADD 6" BRICK LEDGE AROUND ALL SLAB

SITE DRAINAGE:

IT IS RECOMMENDED THAT THE DRAINAGE BE WELL DEVELOPED. SURFACE WATER SHOULD BE DIRECTED AWAY FROM THE FOUNDATION SOILS. USE A MINIMUM SLOPE OF 2% WITHIN 10 FEET OF THE FOUNDATION, NO PONDING OF SURFACE WATER SHALL BE ALLOWED NEAR THE STRUCTURE DURING OR AFTER COMPLETION OF THE CONSTRUCTION AND THELANDSCAPING. THE BUILDER SHALL ADVISE THE OWNER OF THE SITE DRAINAGE REQUIREMENTS.

1 Foundation Plan
1/4" = 1'-0"



GET WHAT YOU ARE LOOKING FOR

© COPYRIGHT BY RUMEL DESIGN & ENGINEERING ALL RIGHTS RESERVED.

PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
FOUNDATION PLAN

DRAWN BY: RDE
CHECKED BY: RDE

Project Status
DOCUMENT ISSUED
5/30/2025 4:51:40 PM

SCALE: 1/4" = 1'-0"
ARCH D 24" X 36"

SHEET NO.

S-1.0

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

PROJECT OWNERS:

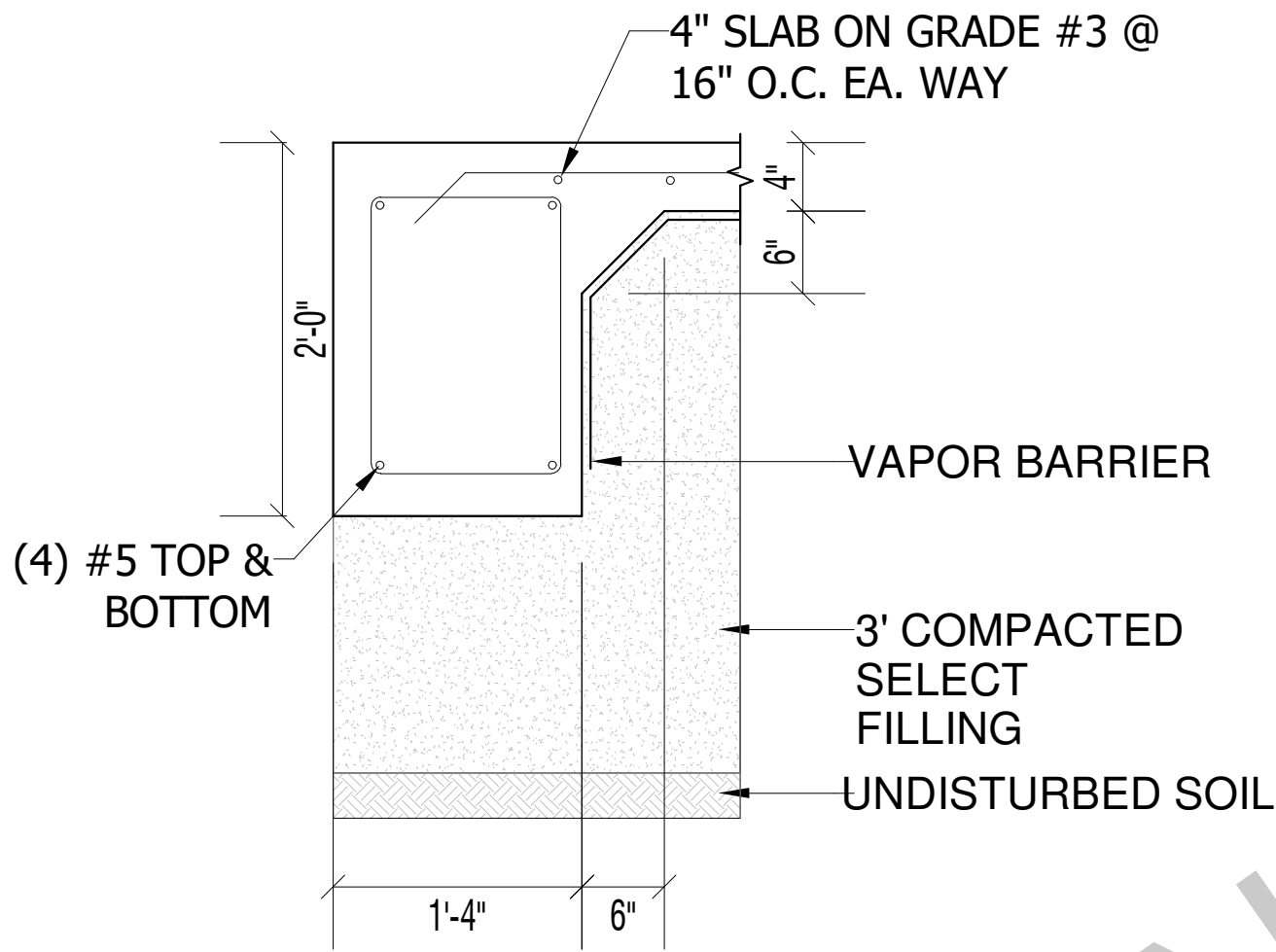
CONTRACTOR:

SHEET TITLE:
**FOUNDATION
DETAILS & TYPICAL
WALL SECTION**

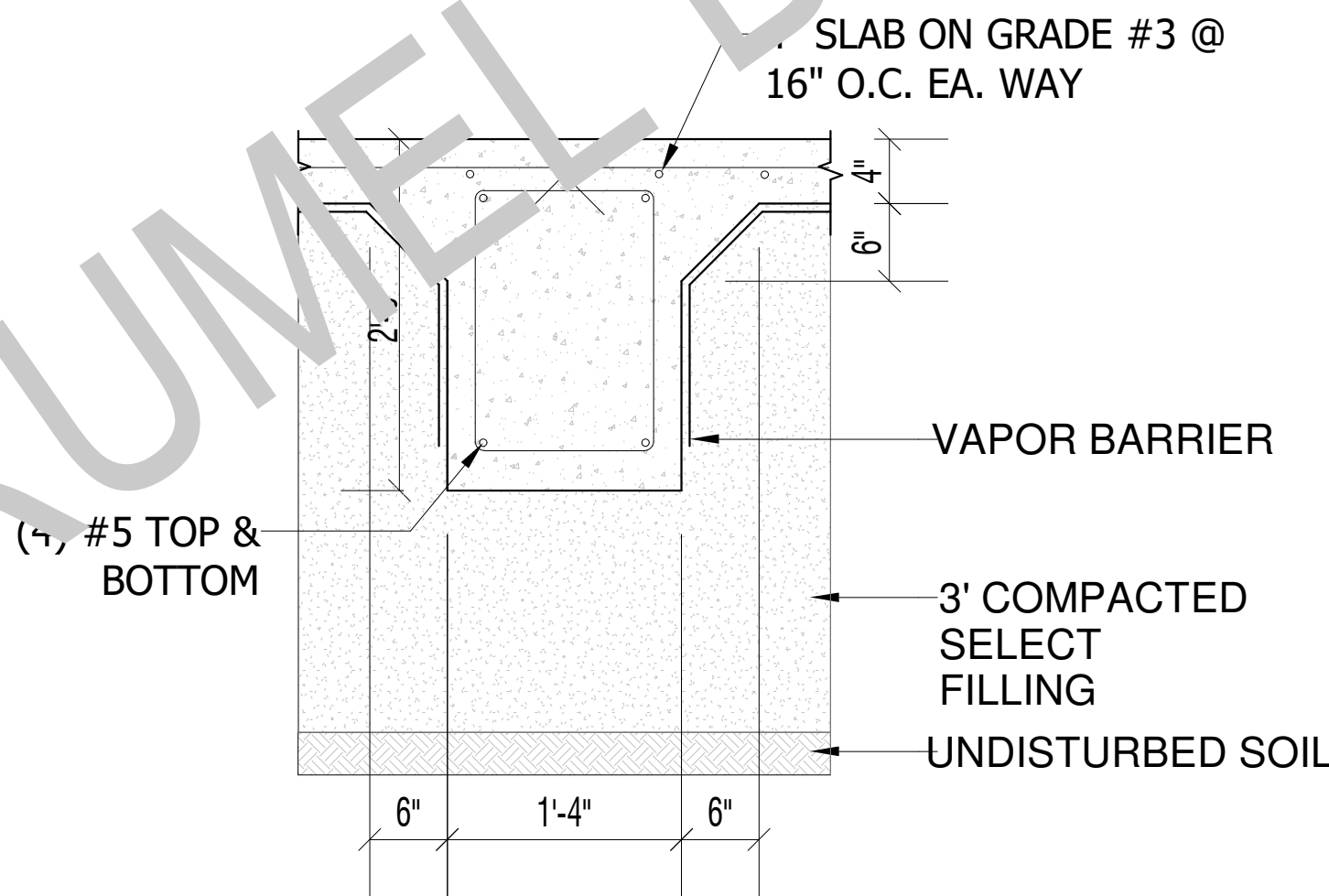
CHECKED BY:
RDE RDE

Project Status
DOCUMENT ISSUED
5/30/2025 4:51:41 PM
SCALE: As indicated ARCH D 24" X 36"
SHEET NO.

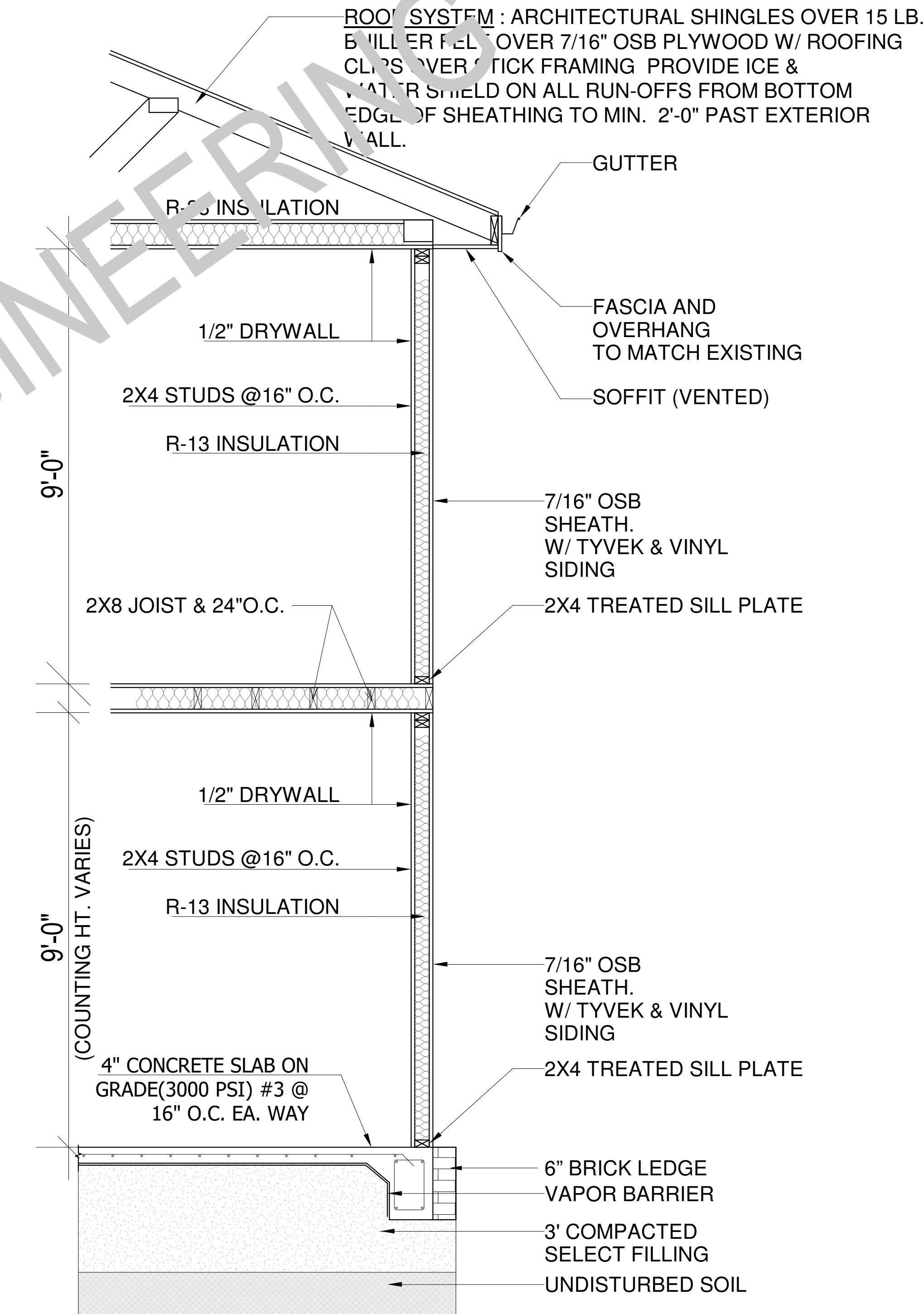
S-2.0



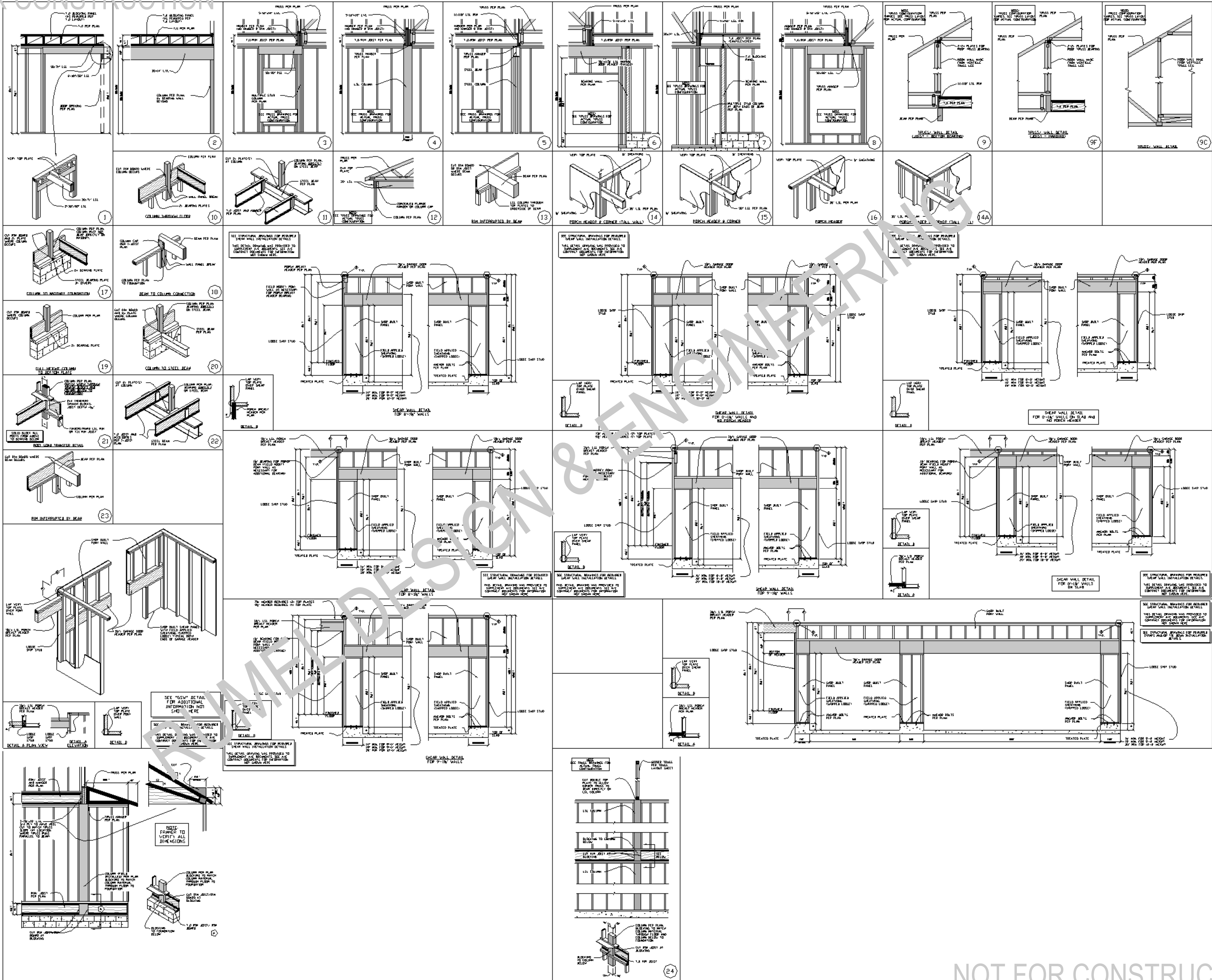
① FOUNDATION DETAILS-1
1" = 1'-0"



② FOUNDATION DETAILS-2
1" = 1'-0"



⑤ TYPICAL WALL SECTION-2
1/2" = 1'-0"





DESIGN & ENGINEERING

“GET WHAT YOU ARE LOOKING FOR”

© COPYRIGHT BY RUMEL DESIGN & ENGINEERING. ALL RIGHTS RESERVED.

PLEASE NOTE: Rumel Design & Engineering assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to verify the following before beginning construction:

- 1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
- 2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
- 3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant.

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: _____

PROJECT NAME: _____

PROJECT OWNERS: _____

CONTRACTOR: _____

SHEET TITLE: TYPICAL FRAMING DETAILS

DRAWN BY: RDE CHECKED BY: RDE

Project Status

DOCUMENT ISSUED

5/30/2025 4:51:41 PM

SCALE: 1/4" = 1'-0" ARCH D 24" X 36"

SHEET NO.

S-3.0