


NOT FOR CONSTRUCTION

THE CUSTOM HOUSE PLAN

NEW CONSTRUCTION





DESIGN & ENGINEERING

GET WHAT YOU ARE LOOKING FOR

© COPYRIGHT BY RUMEL DESIGN & ENGINEERING ALL RIGHTS RESERVED.

PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

GENERAL NOTE:


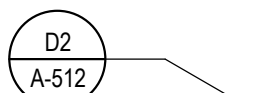
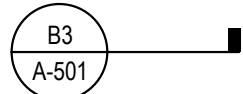
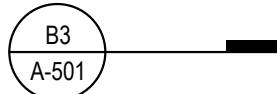

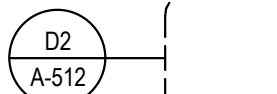








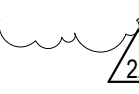
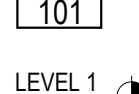


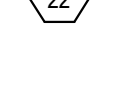

- 1.THESE NOTES SHALL APPLY TO ALL DRAWINGS UNLESS NOTED OTHERWISE OR SHOWN. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND THEY SHALL APPLY GENERALLY THROUGHOUT SIMILAR CONDITIONS. ALL OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS AND/OR GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BY THE CONTRACTOR/BUILDER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
2. ALL CONSTRUCTION SHALL CONFORM TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL LOCAL CODES PRESENTLY IN EFFECT UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED.
3. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL SUPERVISE AND DIRECT WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT/ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT/ENGINEER DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, AND THEREFORE THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
4. ANYONE SUPPLYING LABOR AND/OR MATERIALS TO THE PROJECT SHALL CAREFULLY EXAMINE ALL SUBSURFACES TO RECEIVE WORK. ANY CONDITIONS DETRIMENTAL TO WORK SHALL BE REPORTED IN WRITING TO THE CONTRACTOR PRIOR TO BEGINNING WORK. COMMENCEMENT OF WORK SHALL IMPLY ACCEPTANCE OF ALL SUBSURFACES.
5. ANY MATERIALS STORED AT THE SITE SHALL BE COMPLETELY SUPPORTED FREE OF THE GROUND, COVERED AND OTHERWISE PROTECTED TO AVOID DAMAGE FROM THE ELEMENTS.
6. THE CONTRACTOR/BUILDER SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, LICENSES, AND ALL UTILITY CHARGES, AND ARRANGE FOR ALL REQUIRED INSPECTIONS.
7. THE CONTRACTOR/BUILDER SHALL BE RESPONSIBLE FOR COORDINATING BUILDING & SITE UTILITIES BETWEEN ARCHITECTURE, CIVIL & MEP DRAWINGS. THE CONTRACTOR SHALL ALSO CONTACT ALL APPLICABLE UTILITY COMPANIES & PROVIDE CONDUIT & OTHER FACILITIES AS REQUIRED.
8. THE CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS & CONDITIONS ON THE JOB SITE PRIOR TO THE CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES. IN CASES OF DISCREPANCY CONCERNING DIMENSIONS, QUANTITIES AND LOCATION, THE CONTRACTOR SHALL, IN WRITING, CALL TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES BETWEEN SPECIFICATIONS, PLANS, DETAILS OR SCHEDULES. THE ARCHITECT WILL THEN INFORM THE CONTRACTOR, IN WRITING, WHICH DOCUMENT TAKES PRECEDENCE. THERE SHALL BE NO ADJUSTMENT TO THE COST OR TIME OF THE WORK RESULTING FROM CLARIFICATION OF SUCH DISCREPANCIES.
9. DIMENSIONS ON DRAWINGS ARE SHOWN TO FINISHED FACE OF WALLS AND PARTITIONS OF EXISTING OR NEW CONSTRUCTION UNLESS NOTED OTHERWISE. CEILING HEIGHT DIMENSIONS AND ALL OTHER VERTICAL DIMENSIONS ARE TO THE FINISHED FLOOR SURFACE UNLESS NOTED OTHERWISE.
10. ALL MATERIALS SPECIFIED OR NOTED SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
11. THE CONTRACTOR/BUILDER SHALL BE RESPONSIBLE FOR SUBMITTING SHOP DRAWINGS, PRODUCT DATA, OR SAMPLES FOR CASEWORK, FINISHES, DOORS, FRAMES, HARDWARE, MECHANICAL, ELECTRICAL, AND PLUMBING FIXTURES, AND OTHER ITEMS REQUIRING ARCHITECTS OR CLIENTS REVIEW FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS, AND FOR ALL ITEMS WHICH ALLOWED CONTRACTOR OPTIONS. PRIOR TO FORWARDING TO THE ARCHITECT FOR REVIEW, THESE SUBMITTALS MUST BE REVIEWED BY THE CONTRACTOR FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND OPERATIONS OF CONSTRUCTION AND SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR/BUILDER. THE CONTRACTOR/BUILDER SHALL AFFIX A STAMP TO SUBMITTAL INDICATING HIS REVIEW. SUBMITTALS FORWARDED WITHOUT A STAMP WILL BE RETURNED. ALL SUBMITTALS MUST BE REVIEWED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
12. CONTRACTOR SHALL GUARANTEE ALL WORK AGAINST FAULT OF ANY MATERIAL OR WORKMANSHIP FOR A PERIOD OF NOT LESS THAN ONE YEAR AFTER COMPLETION OR ACCEPTANCE. FAULTY WORK SHALL BE REPLACED OR REPAIRED AS REQUIRED AT NO COST TO THE OWNER.
13. CONTRACTOR SHALL COORDINATE WITH OWNER ALL ITEMS TO BE SALVAGED PRIOR TO SUBMISSION OF BIDS AND START OF CONSTRUCTION. OWNER SHALL HAVE SALVAGE RIGHTS TO RETAIN ALL REMOVED ITEMS.
14. ALL CHANGES PROPOSED DURING CONSTRUCTION WHICH RESULT IN A CHANGE TO THE CONTRACT TIME AND/OR SUM SHALL BE SUBMITTED TO THE ARCHITECT IN WRITING AND APPROVED BY THE ARCHITECT AND OWNER BEFORE SUCH WORK SHALL COMMENCE.
15. CONTRACTOR SHALL COORDINATE CLEAR OPENINGS FOR ALL APPLIANCES PRIOR TO CONSTRUCTION OF CASEWORK.
16. CONTRACTOR SHALL FURNISH AND INSTALL CONCEALED FIRE-RETARDANT TREATED WOOD BLOCKING BEHIND ALL CABINETS, TOILET ACCESSORIES, PLUMBING FIXTURES, AND OTHER WALL MOUNTED ITEMS AS REQUIRED FOR ADEQUATE SUPPORT.
17. CONTRACTOR SHALL COORDINATE ALL LOCK AND LATCH SETS AND FINAL KEYING WITH OWNER. DOUBLE KEYED LOCKS ARE NOT PERMITTED ON ANY REQUIRED OR MARKED EXIT. MATCH EXISTING KEYING SYSTEM IF ONE IS EXISTING.

18. ALL DOOR HARDWARE ON EXIT DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR EFFORT.
19. CONTRACTOR/BUILDER SHALL PREPARE ALL NEW AND EXISTING SURFACES SCHEDULED TO RECEIVE NEW FINISHES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THE SUBSTRATE & FINISH BEING APPLIED.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING CONSTRUCTION INDICATED TO REMAIN AND SHALL REPAIR AND/OR REPLACE ALL AREAS AND/OR MATERIALS DAMAGED DURING CONSTRUCTION AT A MINIMUM TO THE CONDITION WHICH EXISTED PRIOR TO CONSTRUCTION.
21. ALL NEW GLASS AND GLAZING LOCATED IN HAZARDOUS LOCATIONS AS DEFINED IN IBC SECTION 2406.3 SHALL MEET THE REQUIREMENTS FOR SAFETY GLAZING AS DEFINED IN IBC SECTION 2406.
22. IF THE CONTRACTOR/BUILDER FAILS TO SUBMIT A MATERIAL FOR APPROVAL, THE MATERIAL MAY BE REQUIRED TO BE REMOVED BY HIM EITHER BY DIRECTION OF THE OWNER OR ARCHITECT.
23. THE CONTRACTOR/BUILDER IS TO PROVIDE AS BUILT DRAWINGS IN HARD COPY & AN ELECTRONIC AUTOCAD FILE TO THE OWNER AT THE CONCLUSION OF THE PROJECT.
24. INSTALL ELASTOMERIC JOINT SEALER AROUND ALL PIPES, DUCTWORK, & STRUCTURE PASSING THRU INTERIOR NON-RATED CONCRETE AND MASONRY WALLS, GYPSUM BOARD PARTITIONS, AND CONCRETE FLOOR/ROOF SLABS. FOR FIRE RATED INTERIOR CONCRETE AND MASONRY WALLS, GYPSUM BOARD PARTITIONS, AND CONCRETE FLOOR/ROOF SLABS SEAL ALL PIPES, DUCTWORK, AND STRUCTURE. INSTALL FIRESTOP MATERIALS IN ALL GAPS PRIOR TO SEALANT APPLICATION. INSTALL SEALER ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
25. THE CONTRACTOR/BUILDER SHALL BE RESPONSIBLE TO REMOVE OR DISBURSE ANY EXCESS MATERIAL FROM PROJECT SITE.

ABBREVIATIONS:

U.N.O.	UNLESS NOTED OTHERWISE
ABV.	ABV.
SIM.	SIMILAR
CAB.	CABINET
R&S	ROD AND SHELVES
WDW.	WINDOW
CLG.	CEILING
C.O.	CASED OPENING
T	TEMPERED
GYP.	GYPSUM
CONC.	CONCRETE
TYP.	TYPICAL
O.C.	OPEN CENTER
CL	CENTRAL LINE
MECH.	MECHANICAL
FIN.	FINISH
W.F.	WATER HEATER
SIM.	SIMILAR
NTS.	NOT TO SCALE
HGT.	HEIGHT
RCP	REFLECTED CEILING PLAN
HJS	HEAD, JAMB, AND SILL
EQ.	EQUAL
WD	WOOD
SCH.	SCHEDULE(D)
<E>	EGRESS
TRANS.	TRANSOM
MTL.	METAL
CMU	CONCRETE MASONRY UNIT
EXIST.	EXISTING

SYMBOLS:

		DETAIL INDICATOR - REFERENCE & DETAIL INDICATOR - ITEM
		DETAIL INDICATOR - SECTION & DETAIL INDICATOR - SECTION ITEM
		SECTION INDICATOR - PARTIAL BUILDING/WALL & DETAIL INDICATOR - AREA
		SECTION INDICATOR - BUILDING
		ELEVATION INDICATOR - EXTERIOR
		ELEVATION INDICATOR - INTERIOR, SINGLE & MULTIPLE VIEW
		MATCH LINE INDICATOR
		REFERENCE GRID WITH REFERENCE GRID LINES
		REVISION INDICATOR & REVISION CLOUD
		ROOM IDENTIFIER WITH ROOM NAME & NUMBER
		ELEVATION INDICATOR - LEVEL & SPOT
		WINDOW OR LOUVER IDENTIFIER
		KEYNOTE INDICATOR
		PLAN NORTH & TRUE NORTH INDICATOR

PROJECT DATA

BUILDING DATA

NEW CONSTRUCTION
SINGLE-FAMILY RESIDENCE
ZONED RES-1 SURVEY
SQUARE FOOTAGE (MAIN HOUSE):

PROJECT LOCATION

LOCATION MAP

VICINITY MAP

PROJECT CONTACT INFO:

SCOPE OF WORK:

APPLICABLE CODES

INTERNATIONAL BUILDING CODE
INTERNATIONAL RESIDENTIAL CODE
INTERNATIONAL FIRE CODE
INTERNATIONAL PLUMBING CODE
INTERNATIONAL MECHANICAL CODE
INTERNATIONAL FUEL GAS CODE
NATIONAL ELECTRICAL CODE
INTERNATIONAL ENERGY CONSERVATION CODE

OWNER:

DESIGNER:

BUILDER/CONTRACTOR:

SHEET INDEX:

Sheet Name	Sheet Number
Cover Sheet	A001
Floor Plans	A101
Roof Plan	A102
Exterior Elevations	A201
Exterior Elevations	A202
Sections	A301
Enlarged Plans	A401
Interior Elevations	A501
Door & Window Schedule	A601
Prescriptive Deck Details	A701
ELECTRICAL PLAN	E101
HVAC PLAN	M101
PLUMBING PLAN	P101
Foundation Plan & Details	S101
Typical Wall Section Details	S102

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: #1

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:

Cover Sheet

DRAWN BY:

RDE

CHECKED BY:

RDE

Project Status

DOCUMENT ISSUED

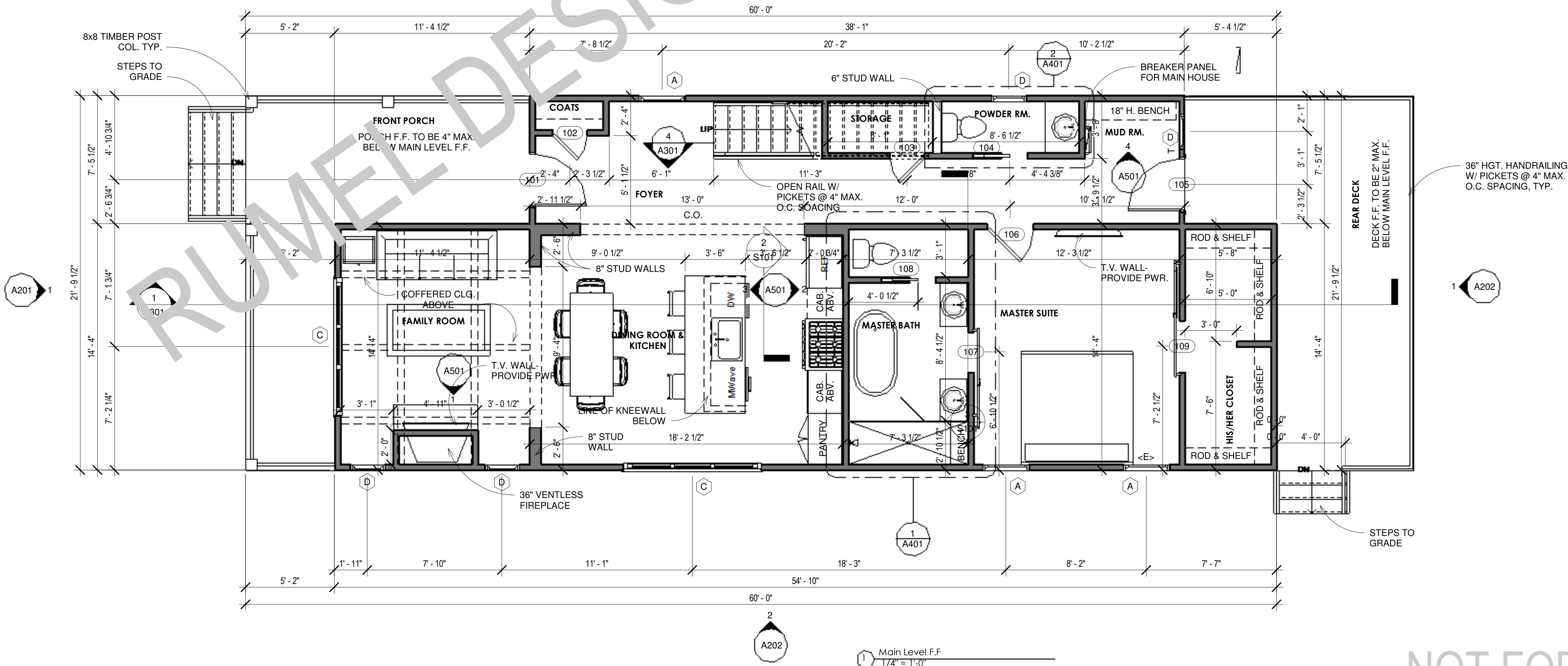
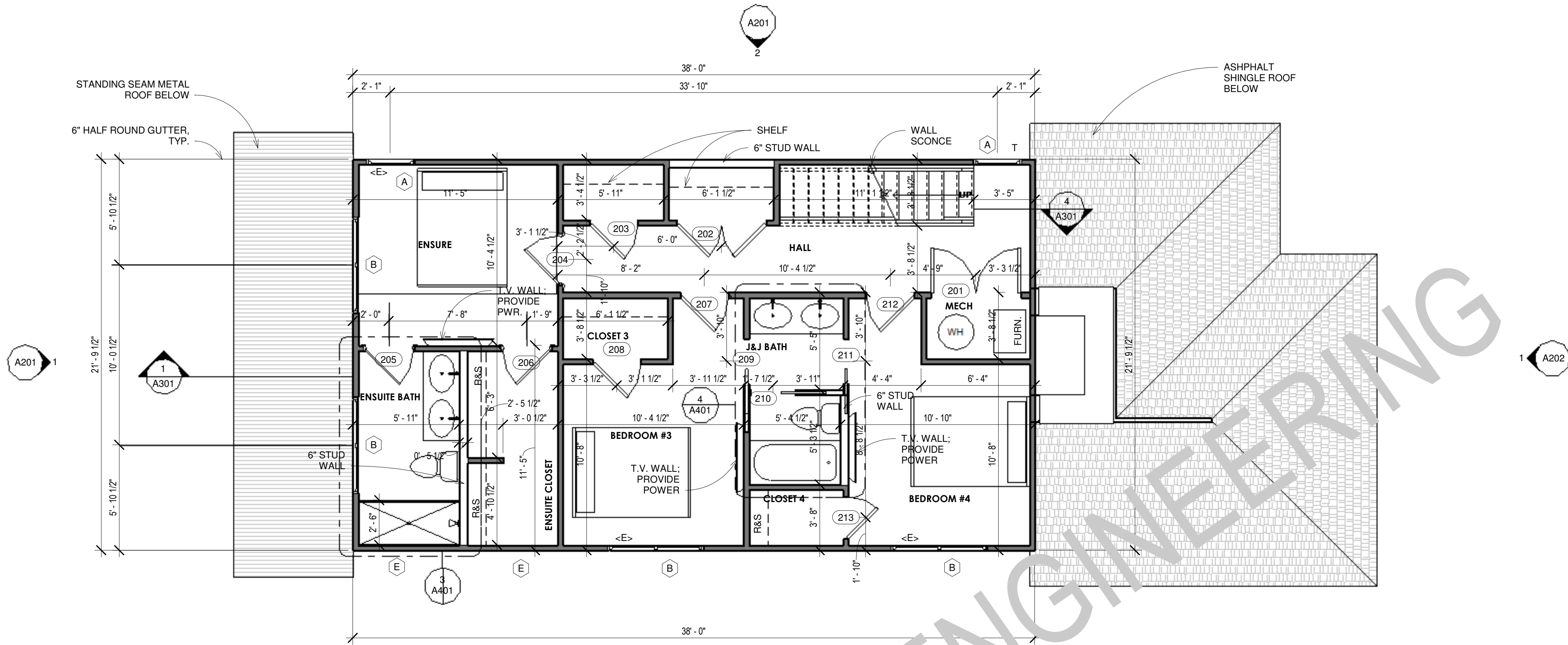
6/2/2025 3:48:32 PM

SCALE: 1/4" = 1'-0"

ARCH D 24" X 36"

SHEET NO.

A001



GET WHAT YOU ARE LOOKING FOR

© COPYRIGHT BY RUMEL DESIGN & ENGINEERING ALL RIGHTS RESERVED.

PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: #1

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
Floor Plans

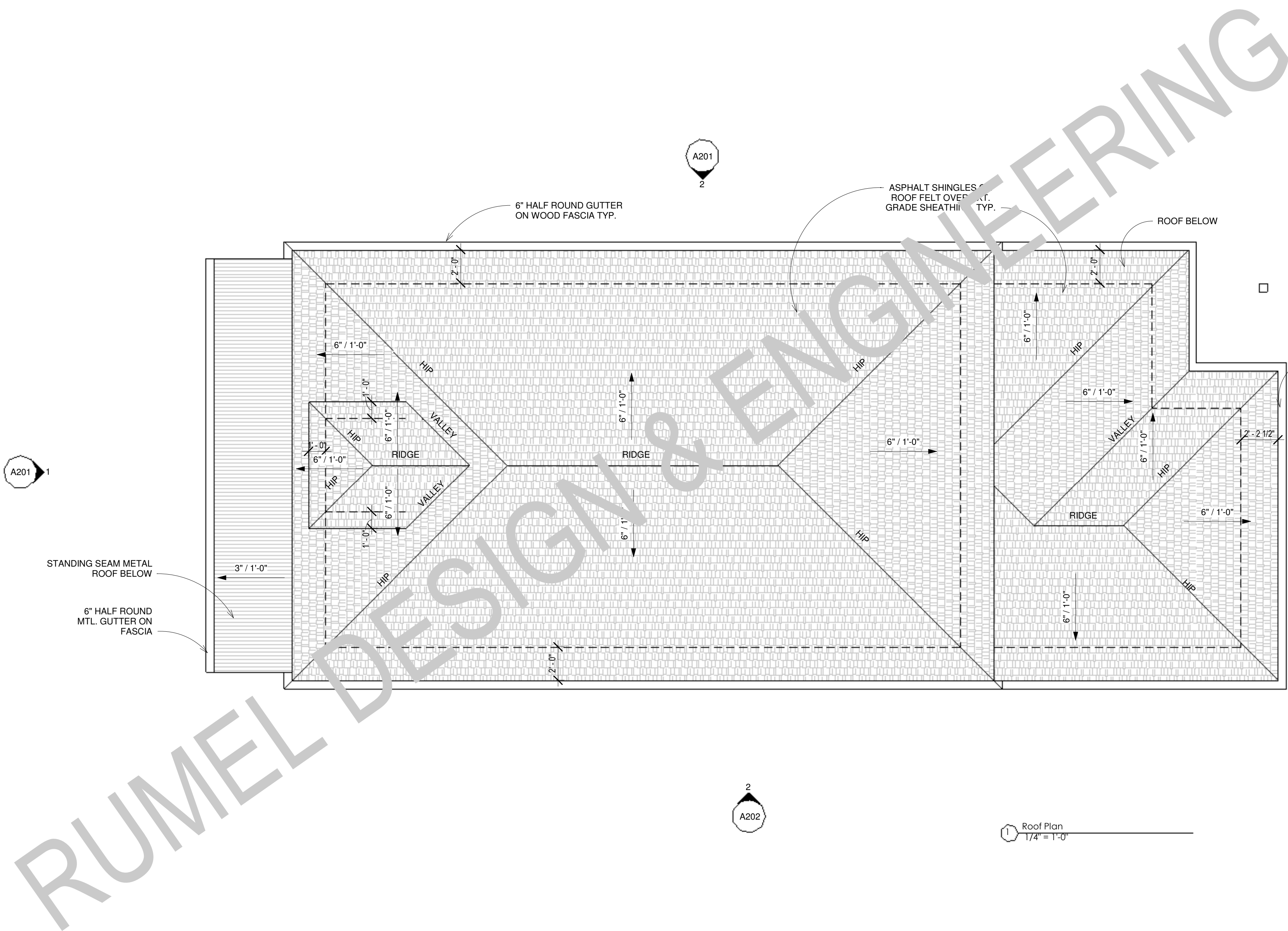
DRAWN BY: RDE
CHECKED BY: RDE

Project Status
DOCUMENT ISSUED
6/2/2025 3:48:32 PM

SCALE: 1/4" = 1'-0" ARCH D 24" X 36"

SHEET NO.

A101



1 Roof Plan
1/4" = 1'-0"



GET WHAT YOU ARE LOOKING FOR

© COPYRIGHT BY RUMEL DESIGN & ENGINEERING ALL RIGHTS RESERVED.

PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: #1

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
Roof Plan

DRAWN BY: RDE
CHECKED BY: RDE

Project Status

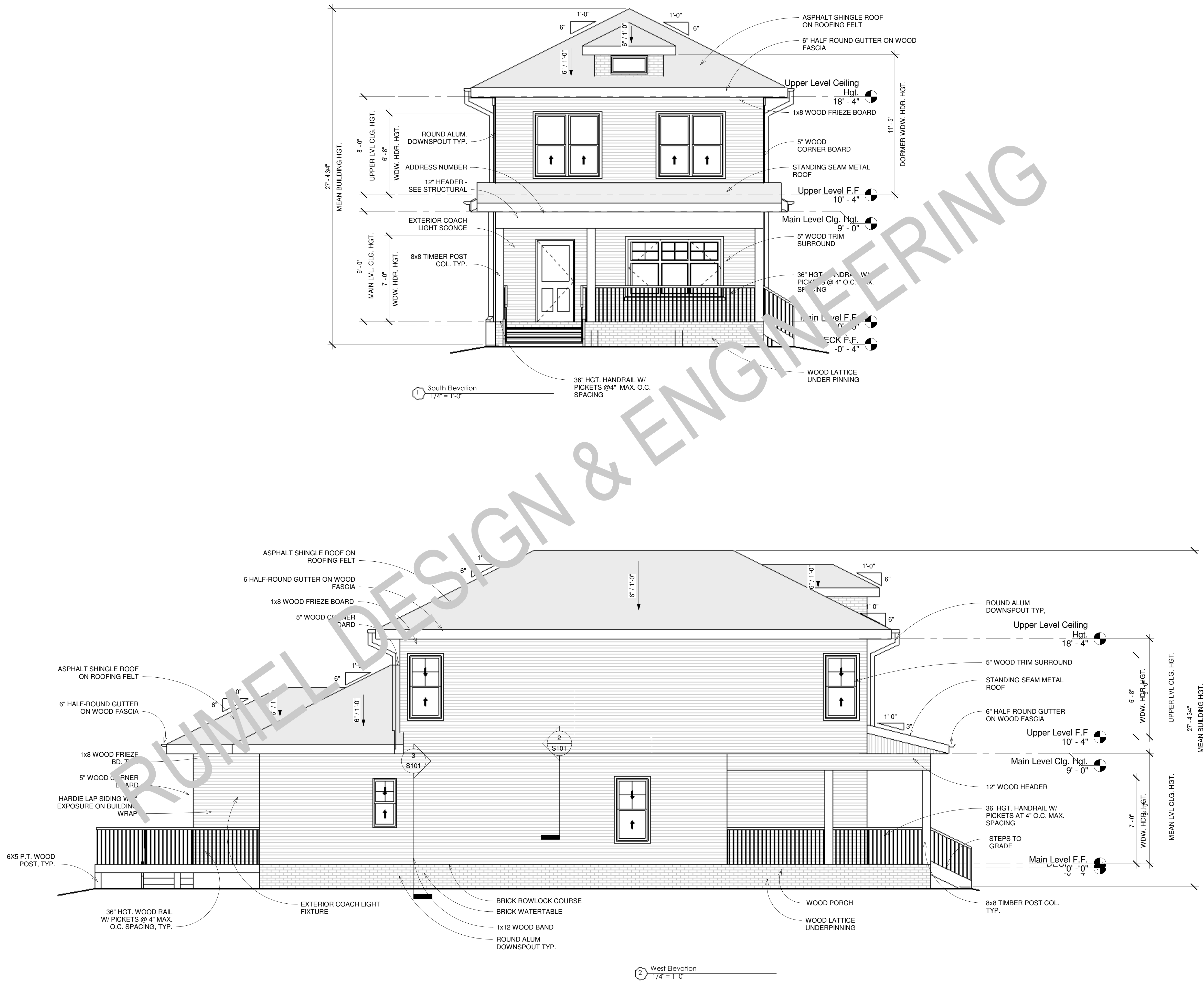
DOCUMENT ISSUED

6/2/2025 3:48:32 PM

SCALE: 1/4" = 1'-0" ARCH D 24" X 36"

SHEET NO.

A102



GET WHAT YOU ARE LOOKING FOR

© COPYRIGHT BY RUMEL DESIGN & ENGINEERING ALL RIGHTS RESERVED.

PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: #1

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
Exterior Elevations

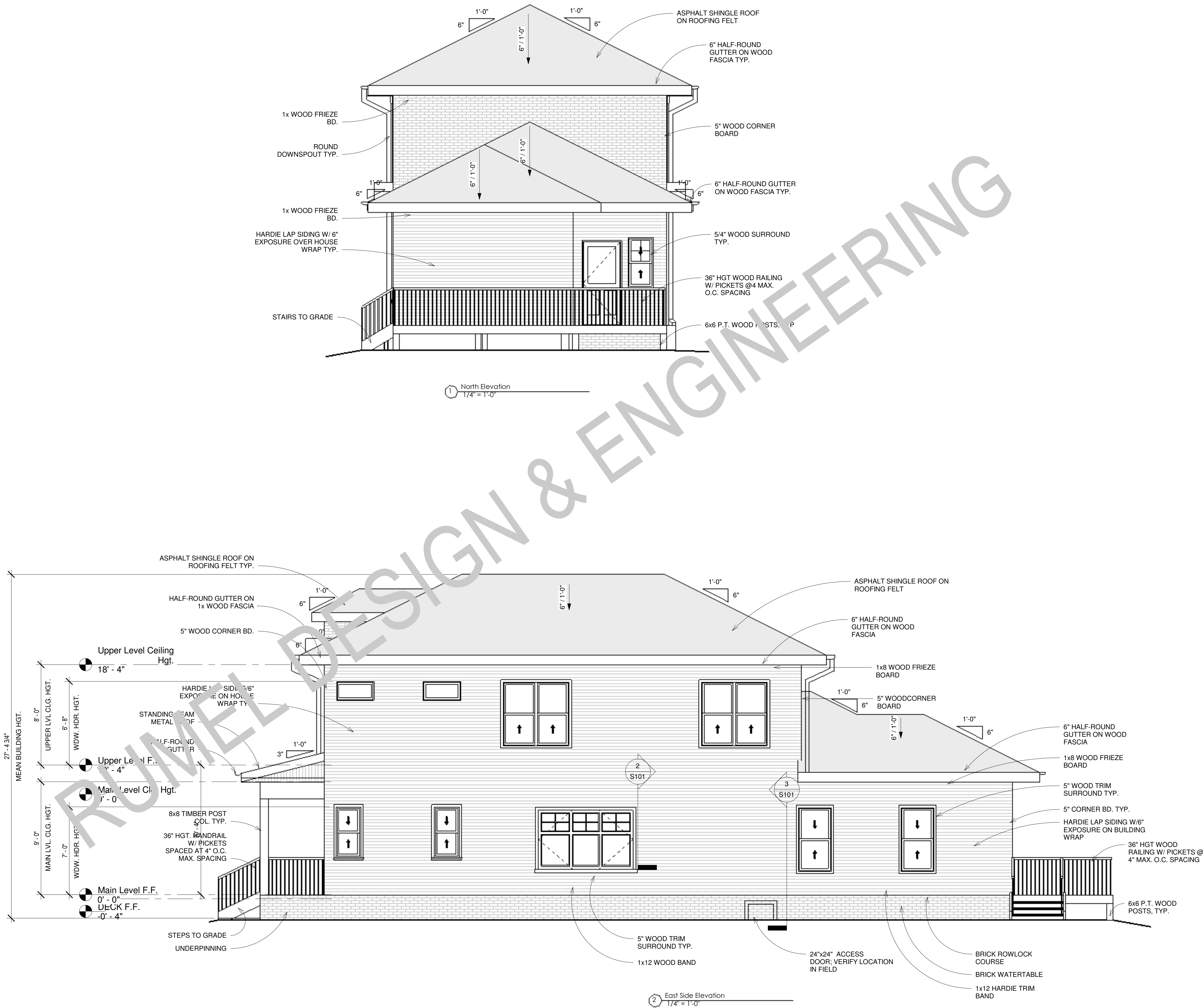
DRAWN BY: RDE
CHECKED BY: RDE

Project Status
DOCUMENT ISSUED
6/2/2025 3:48:33 PM

SCALE: 1/4" = 1'-0" ARCH D 24" X 36"

SHEET NO.

A201



REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: #1

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
Exterior Elevations

DRAWN BY: RDE
CHECKED BY: RDE

Project Status

DOCUMENT ISSUED

6/2/2025 3:48:34 PM

SCALE: 1/4" = 1'-0"

ARCH D 24" X 36"

SHEET NO.

A202

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: #1

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
Sections

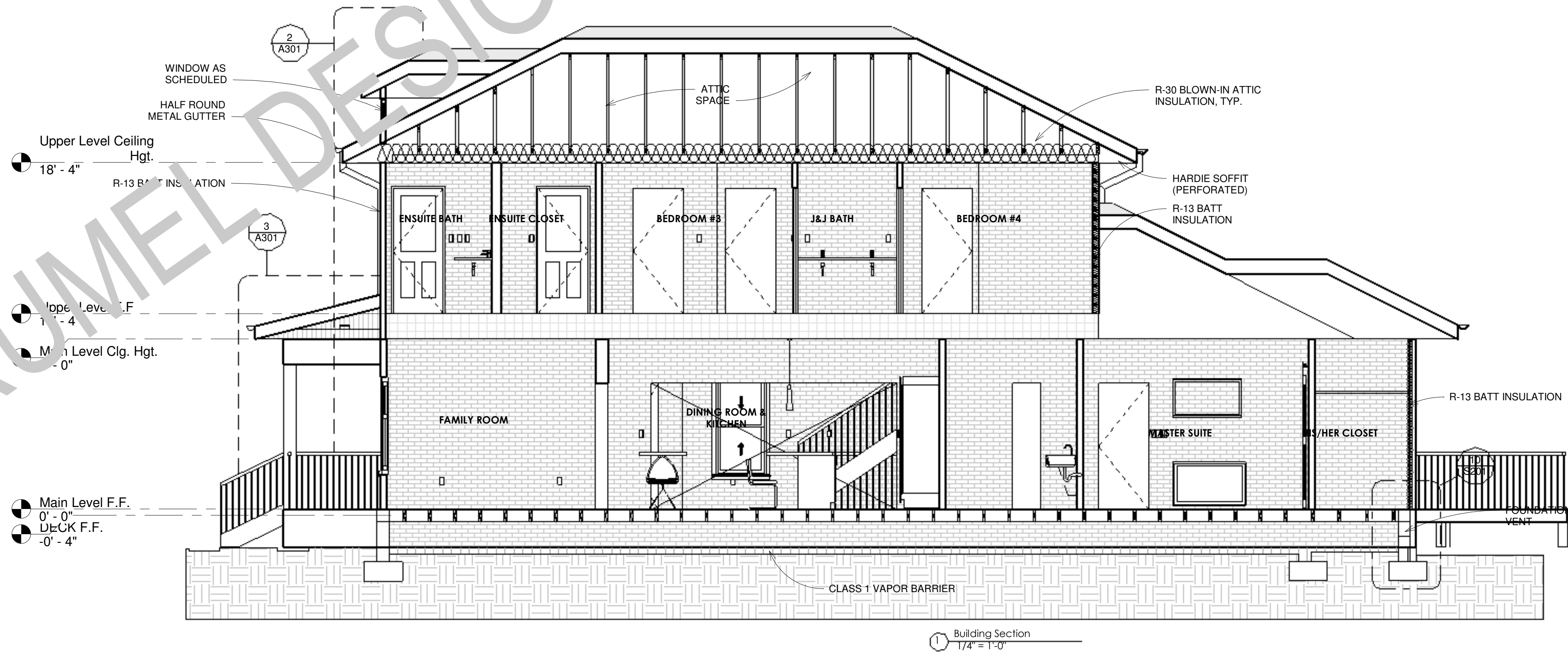
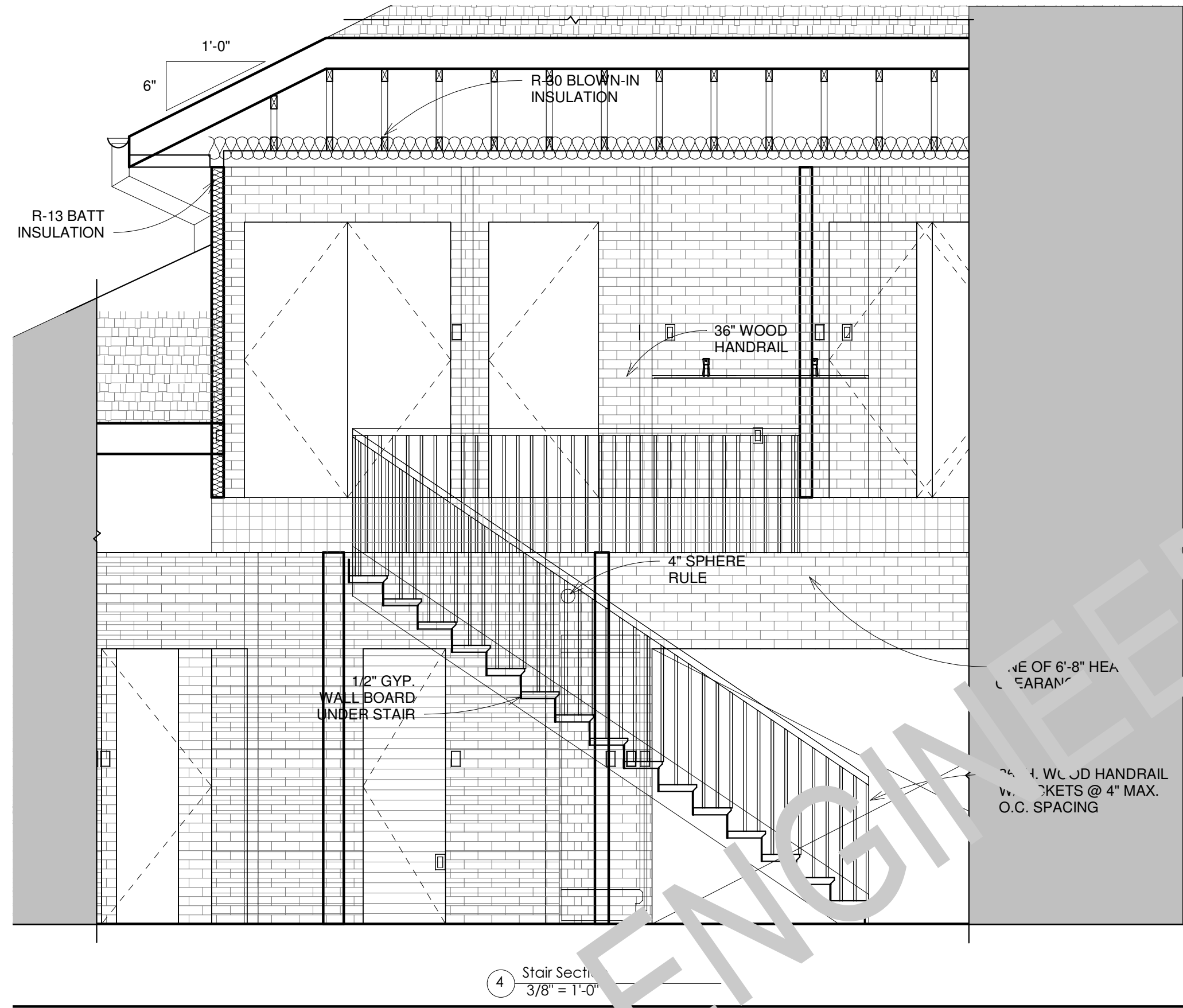
DRAWN BY: RDE
CHECKED BY: RDE

Project Status
DOCUMENT ISSUED
6/2/2025 3:48:34 PM

SCALE: As indicated ARCH D 24" X 36"

SHEET NO.

A301





GET WHAT YOU ARE LOOKING FOR

© COPYRIGHT BY RUMEL DESIGN & ENGINEERING ALL RIGHTS RESERVED.

PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: #1

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
Enlarged Plans

DRAWN BY: RDE
CHECKED BY: RDE

Project Status

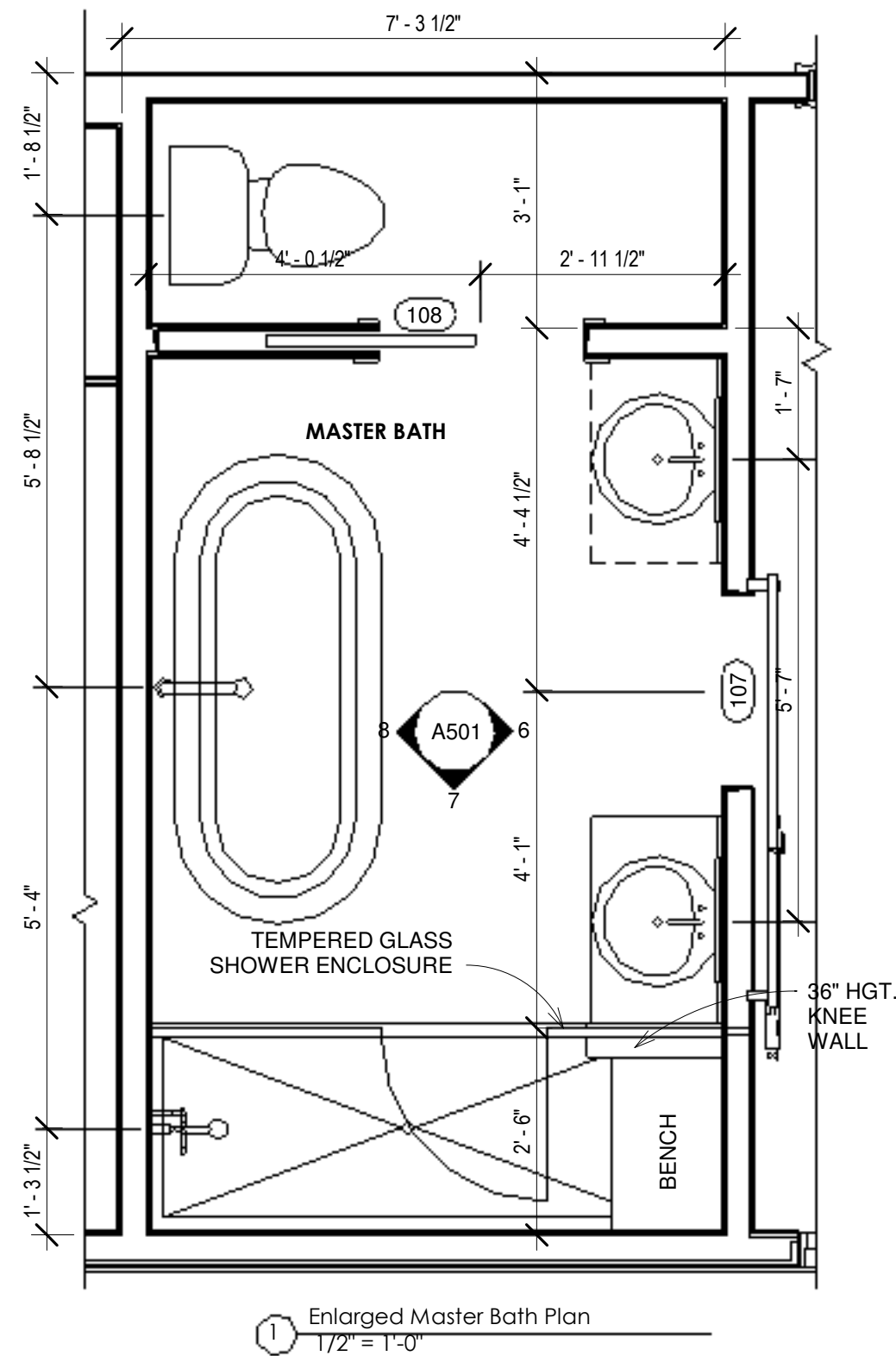
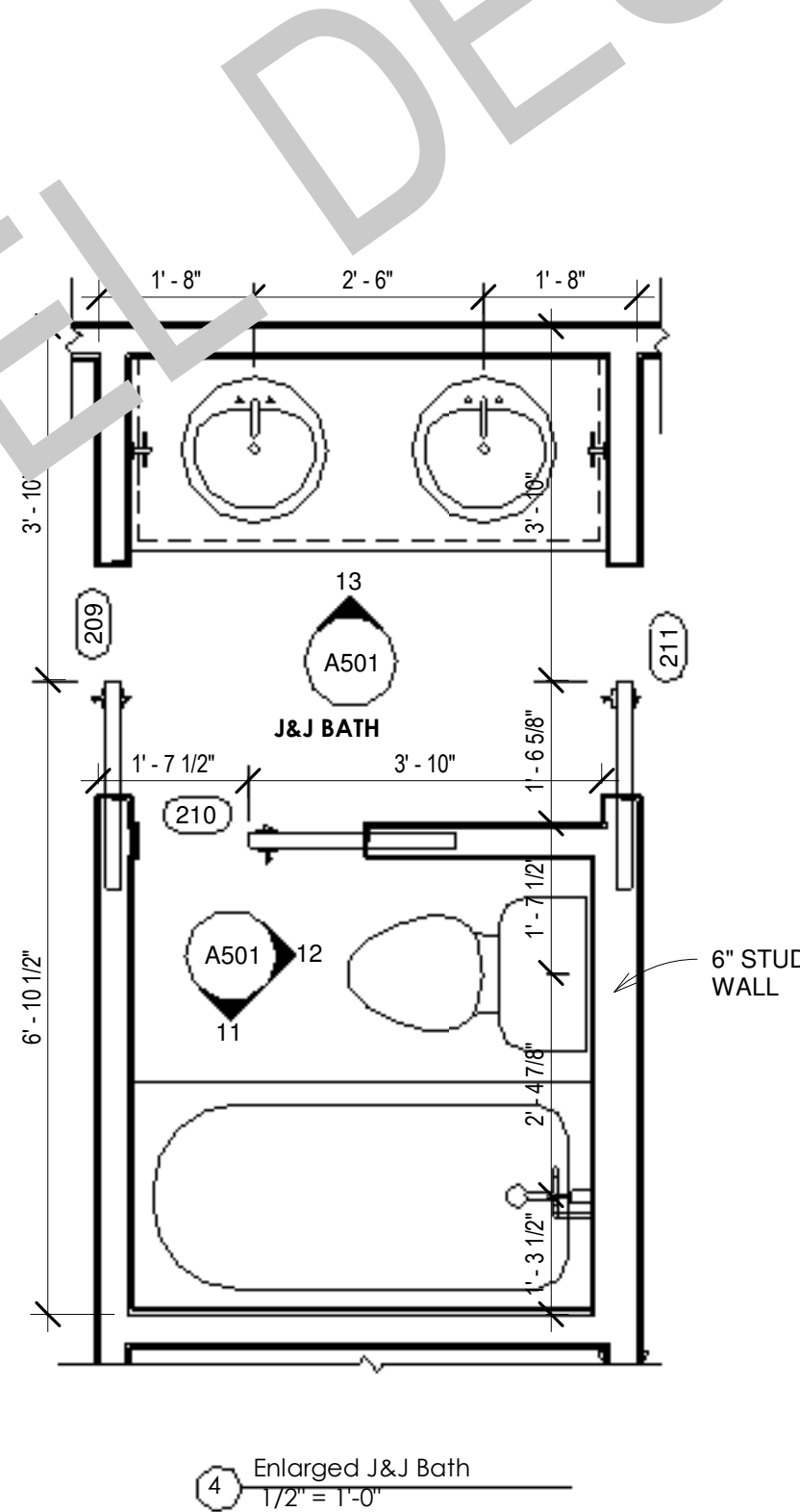
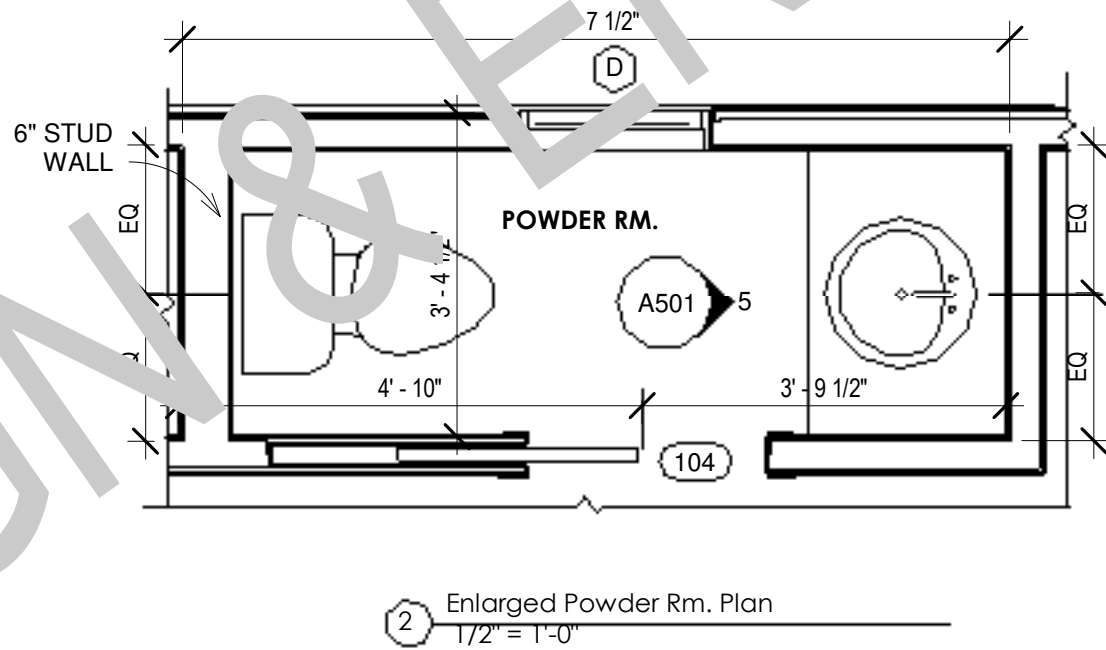
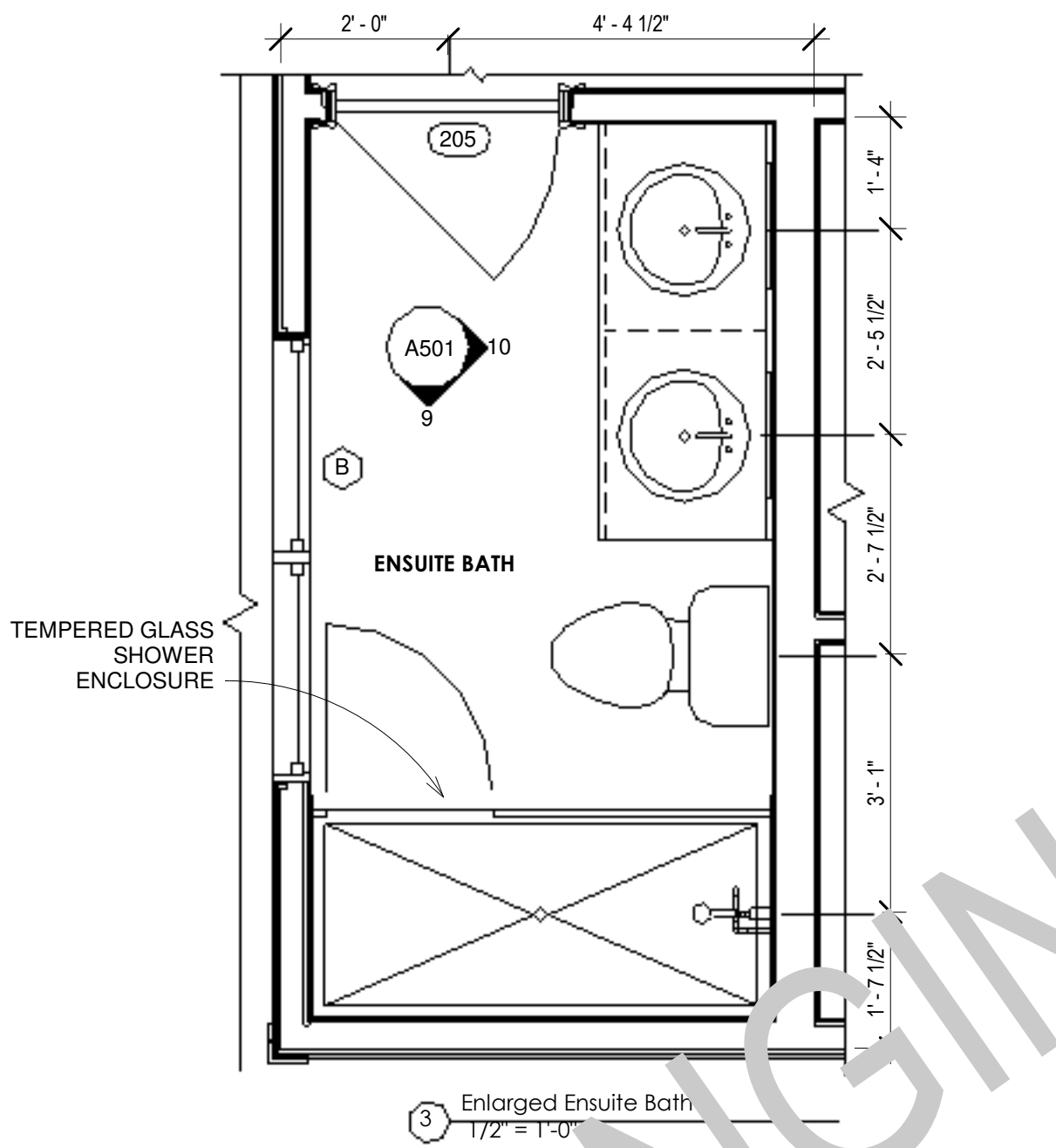
DOCUMENT ISSUED

6/2/2025 3:48:35 PM

SCALE: 1/2" = 1'-0" ARCH D 24" X 36"

SHEET NO.

A401



PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

REVISION SCHEDULE:		
NO.	DESCRIPTION	DATE

PROJECT NUMBER: #1

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
Interior Elevations

DRAWN BY: RDE
CHECKED BY: RDE

Project Status

DOCUMENT ISSUED

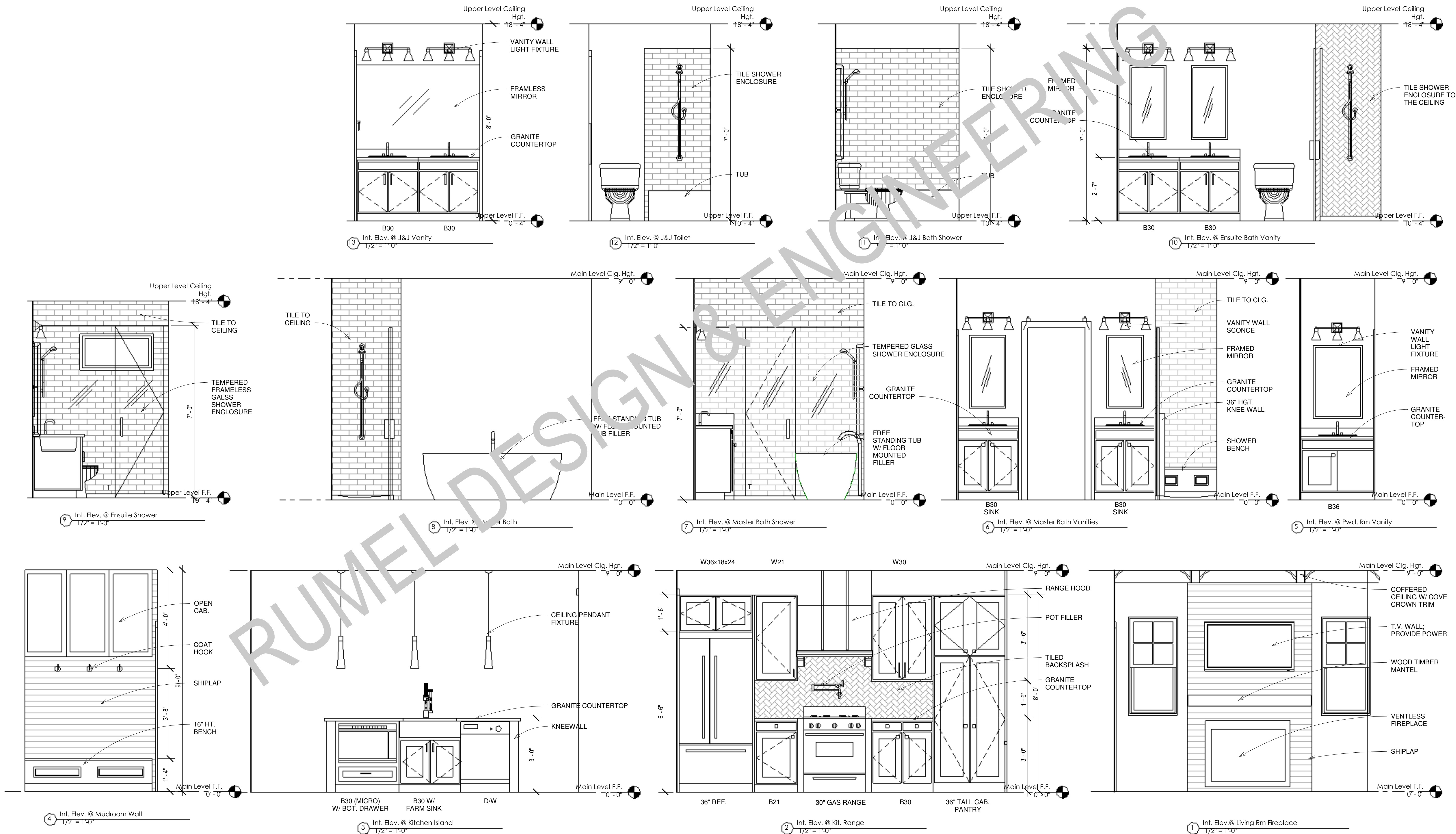
6/2/2025 3:48:35 PM

SCALE: 1/2" = 1'-0"

ARCH D 24" X 36"

SHEET NO.

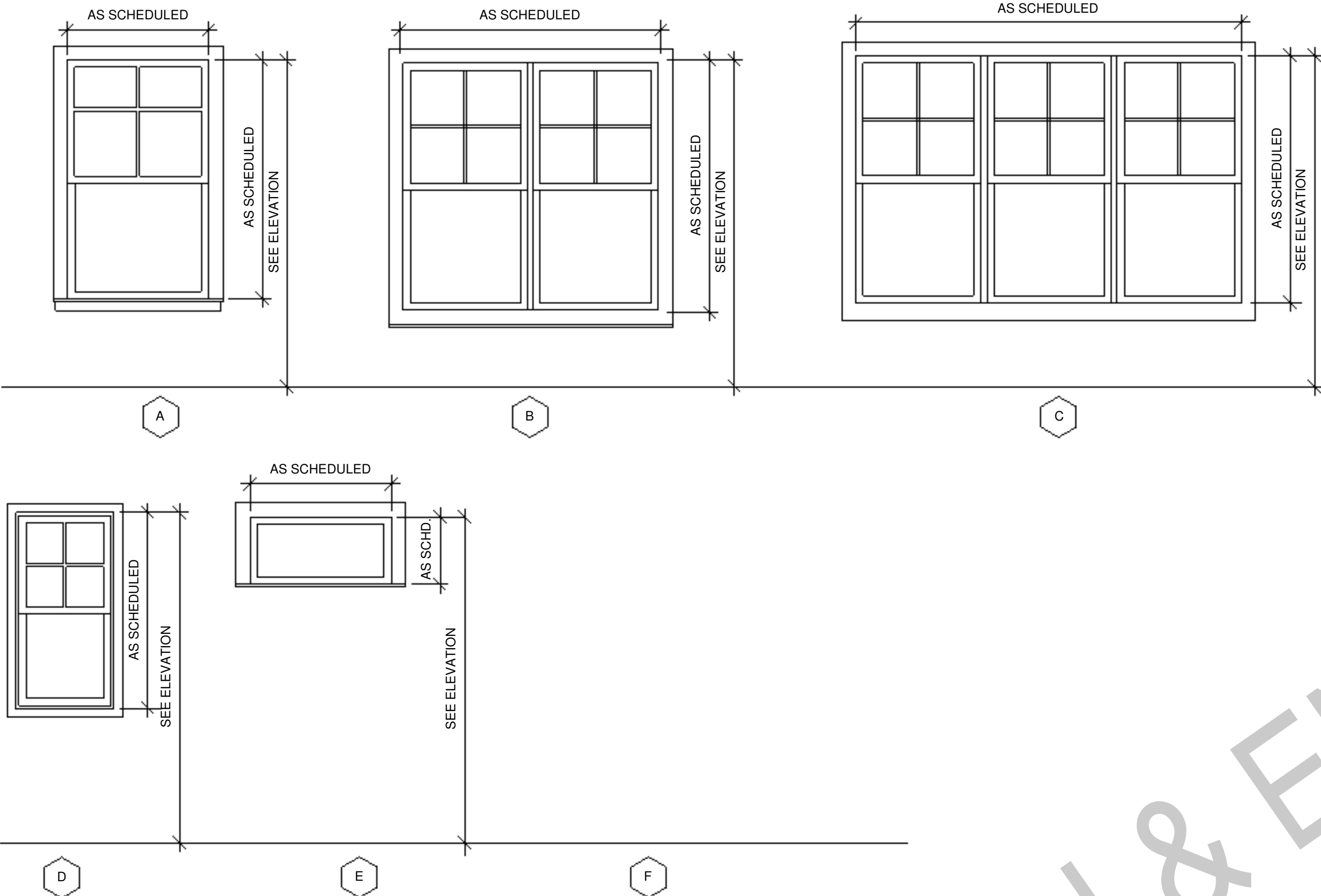
A501



WINDOW TYPES

GENERAL NOTES:

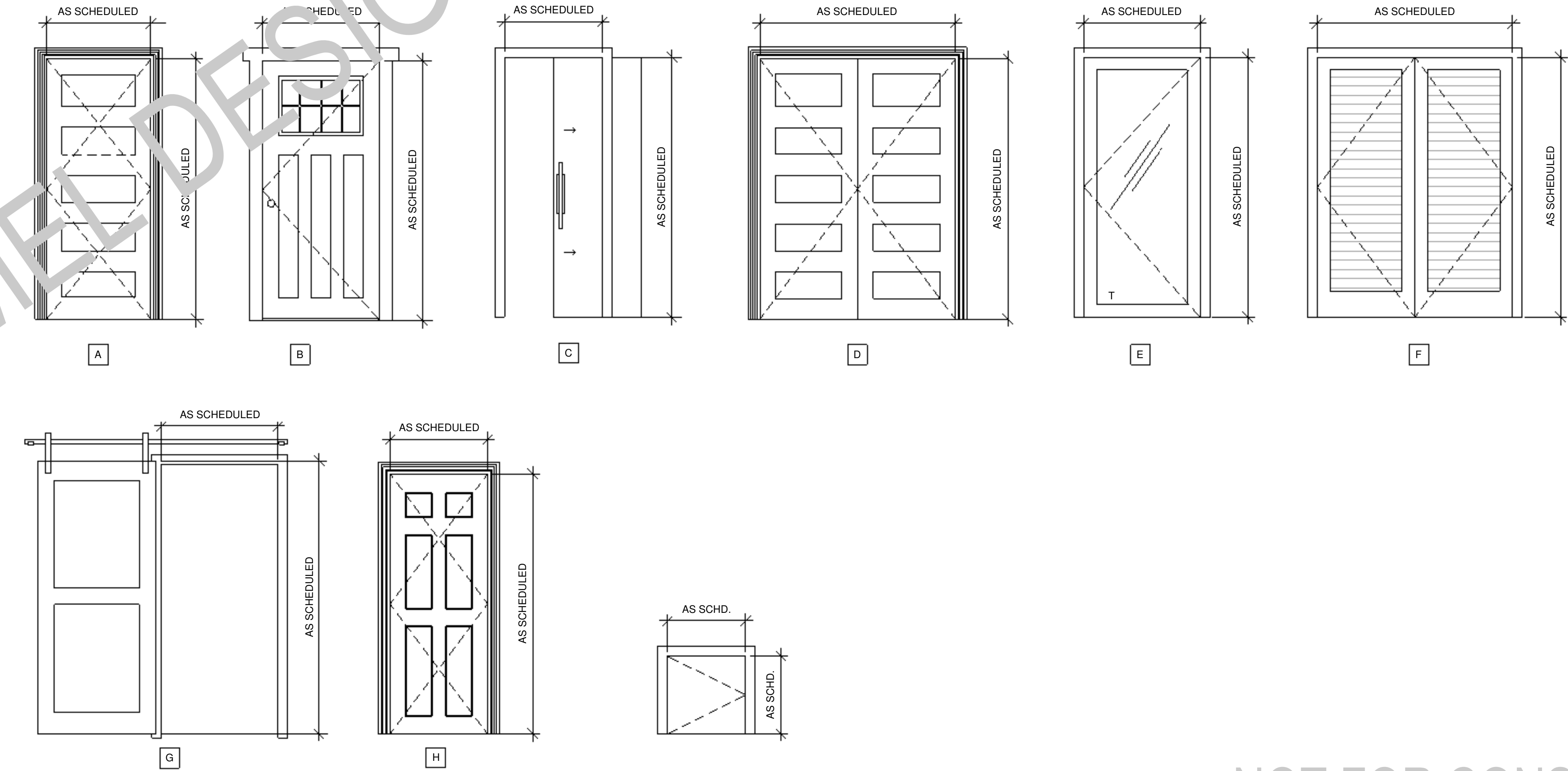
- ALL WINDOWS ARE DOUBLE PAINED LOW-E S.D.L. (SIMULATED DIVIDED LIGHT) WINDOWS OR APPROVED EQUAL
- WINDOWS MUST BE FLASHED ACCORDING TO MANUFACTURER'S SPECIFICATION
- ALL WINDOWS ARE 4 OVER 1 MUNTIN PATTERN AS SEEN BELOW
- ALL WINDOW AND DOOR OPENINGS IN SCHEDULE ARE ACTUAL SIZES. CONTRACTOR SHALL COORDINATE WITH SUPPLIER FOR ROUGH OPENING SIZES
- DOUBLE AND TRIPLE WINDOW SETS SHALL HAVE A MINIMUM 4" MULLION SPACING
- ALL WINDOWS AND DOORS WITH THE LETTER "T" DESIGNATION SHALL BE "TEMPERED" IN ACCORDANCE WITH THE BUILDING CODE FOR TEMPERED WINDOWS AND DOORS



Door Schedule							
Mark	Room	Type	Dimensions		Door Details		Type Cpmments
			Width	Height	Door Material	Door Finish	
Crawl Space							
001		J	2' - 0"	2' - 0"	WOOD	PAINT	LATCH
Main Level F.F.							
101	FOYER	B	3' - 0"	6' - 8"	WOOD/GLASS	STAIN	ENTRY
102	COATS	A	2' - 0"	6' - 8"	WOOD	PAINT	PASSAGE
103	STORAGE	A	2' - 0"	6' - 8"	WOOD	PAINT	PASSAGE
104	POWDER RM.	C	2' - 6"	6' - 8"	WOOD	PAINT	PRIVACY
105	MUD RM.	E	3' - 0"	6' - 8"	WOOD/GLASS	PAINT	ENTRY
106	MASTER SUITE	A	2' - 8"	6' - 8"	WOOD	PAINT	PRIVACY
107	MASTER BATH	G	2' - 4"	7' - 0"	WOOD	PAINT	PRIVACY
108	MASTER BATH	C	2' - 0"	6' - 8"	WOOD	PAINT	PRIVACY
109	HIS/HER CLOSET	G	3' - 0"	7' - 0"	WOOD	PAINT	PASSAGE
Upper Level F.F.							
201	MECH.	F	5' - 0"	6' - 8"	WOOD	PAINT	PASSAGE
202	LAUNDRY	B	5' - 0"	6' - 8"	WOOD	PAINT	DUMMY
203	LINEN	A	2' - 8"	6' - 8"	WOOD	PAINT	PASSAGE
204	ENSUITE	A	2' - 8"	6' - 8"	WOOD	PAINT	PRIVACY
205	ENSUITE BATH	A	2' - 8"	6' - 8"	WOOD	PAINT	PRIVACY
206	ENSUITE CLOSET	A	2' - 8"	6' - 8"	WOOD	PAINT	PASSAGE
207	BEDROOM #3	A	2' - 8"	6' - 8"	WOOD	PAINT	PRIVACY
208	CLOSET 3	A	2' - 8"	6' - 8"	WOOD	PAINT	PASSAGE
209	J&J BATH	C	2' - 6"	6' - 8"	WOOD	PAINT	PRIVACY
210	J&J BATH	C	2' - 6"	6' - 8"	WOOD	PAINT	PRIVACY
211	J&J BATH	A	2' - 0"	6' - 8"	WOOD	PAINT	PASSAGE
212	BEDROOM 1	A	2' - 8"	6' - 8"	WOOD	PAINT	PRIVACY
213	CLOSET 1	A	2' - 4"	6' - 8"	WOOD	PAINT	PASSAGE
Total: 23							

Window Schedule			
Type	Width	Height	Type Cpmments
2' - 8"	5' - 2"		
B	5' - 4"	5' - 2"	DOUBLE WINDOW
C	8' - 0"	5' - 2"	TRIPLE WINDOW
D	2' - 0"	4' - 0"	
E	3' - 0"	1' - 6"	FIXED TRANSOM WINDOW
Total: 18			

DOOR ELEVATIONS



GET WHAT YOU ARE LOOKING FOR

© COPYRIGHT BY RUMEL DESIGN & ENGINEERING ALL RIGHTS RESERVED.

PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: #1

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:

Door & Window Schedule

DRAWN BY: CHECKED BY:

RDE RDE

Project Status

DOCUMENT ISSUED

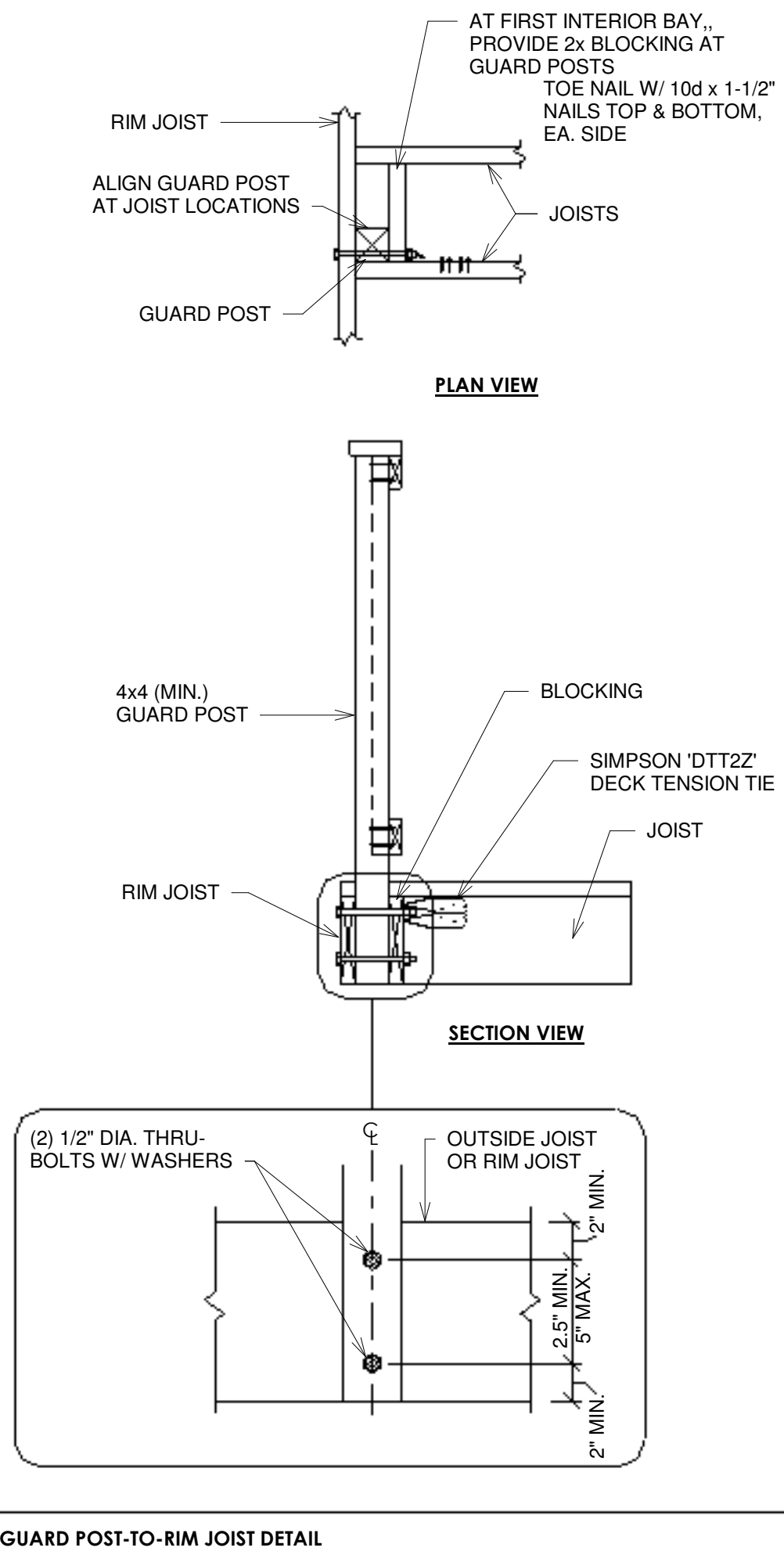
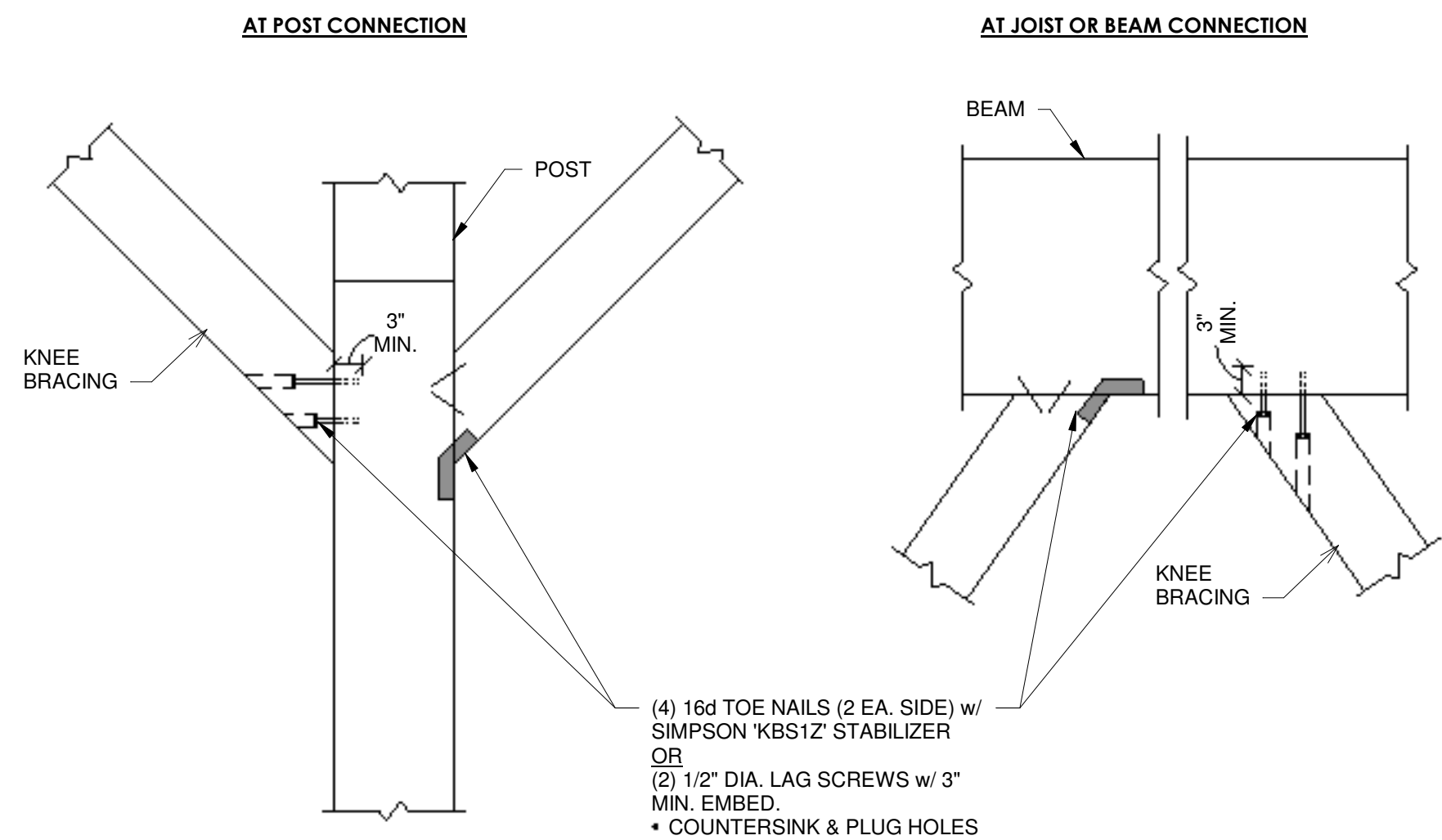
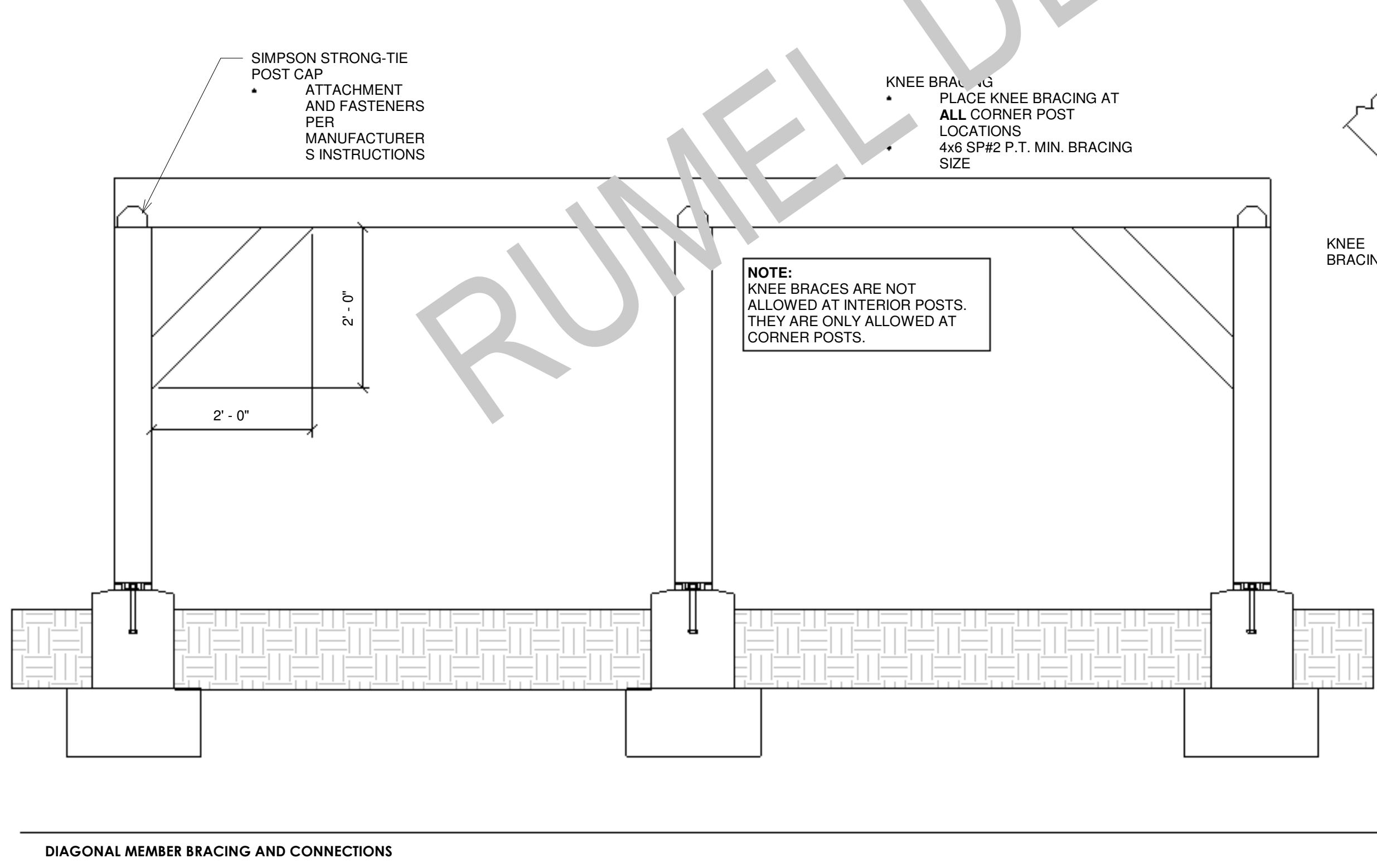
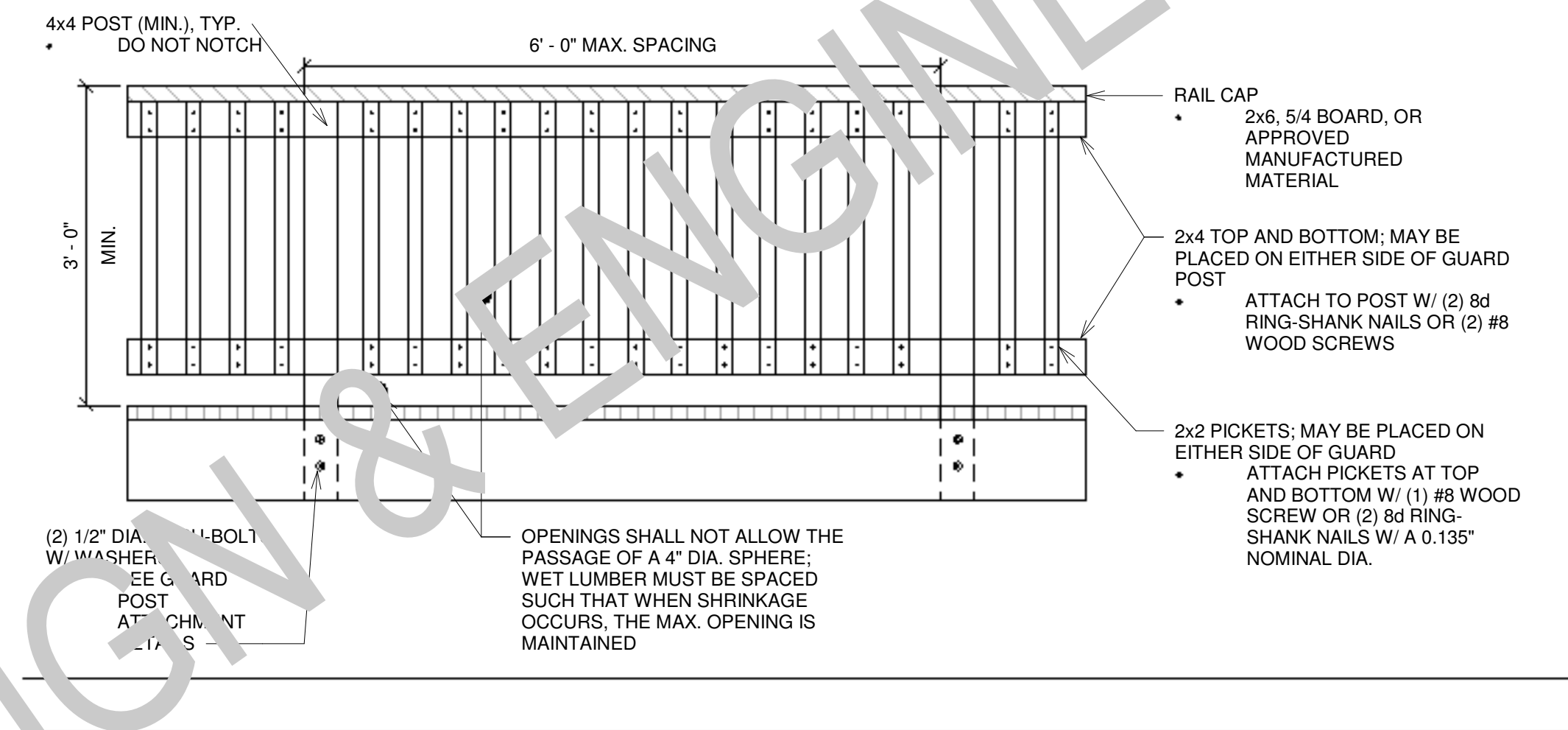
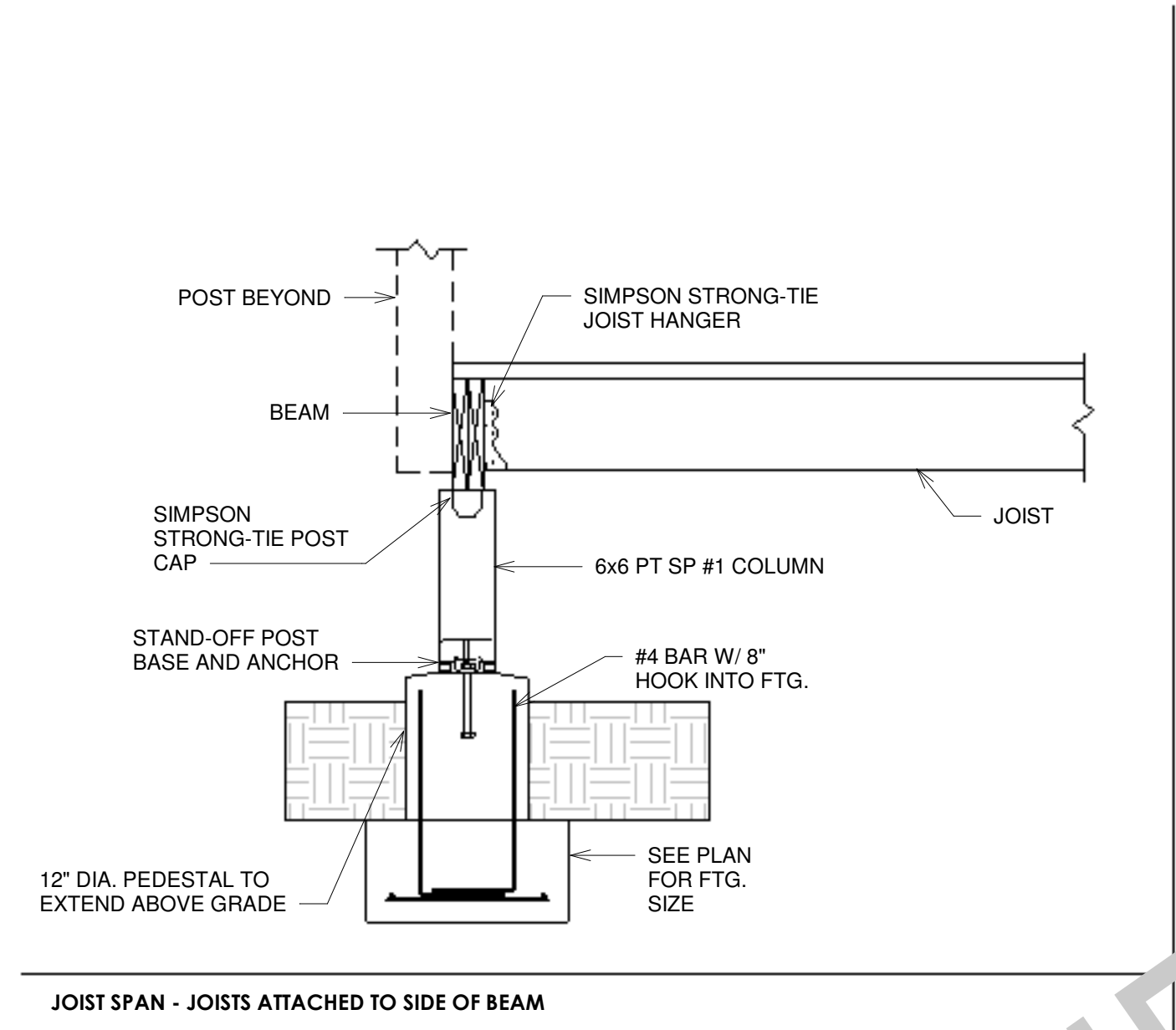
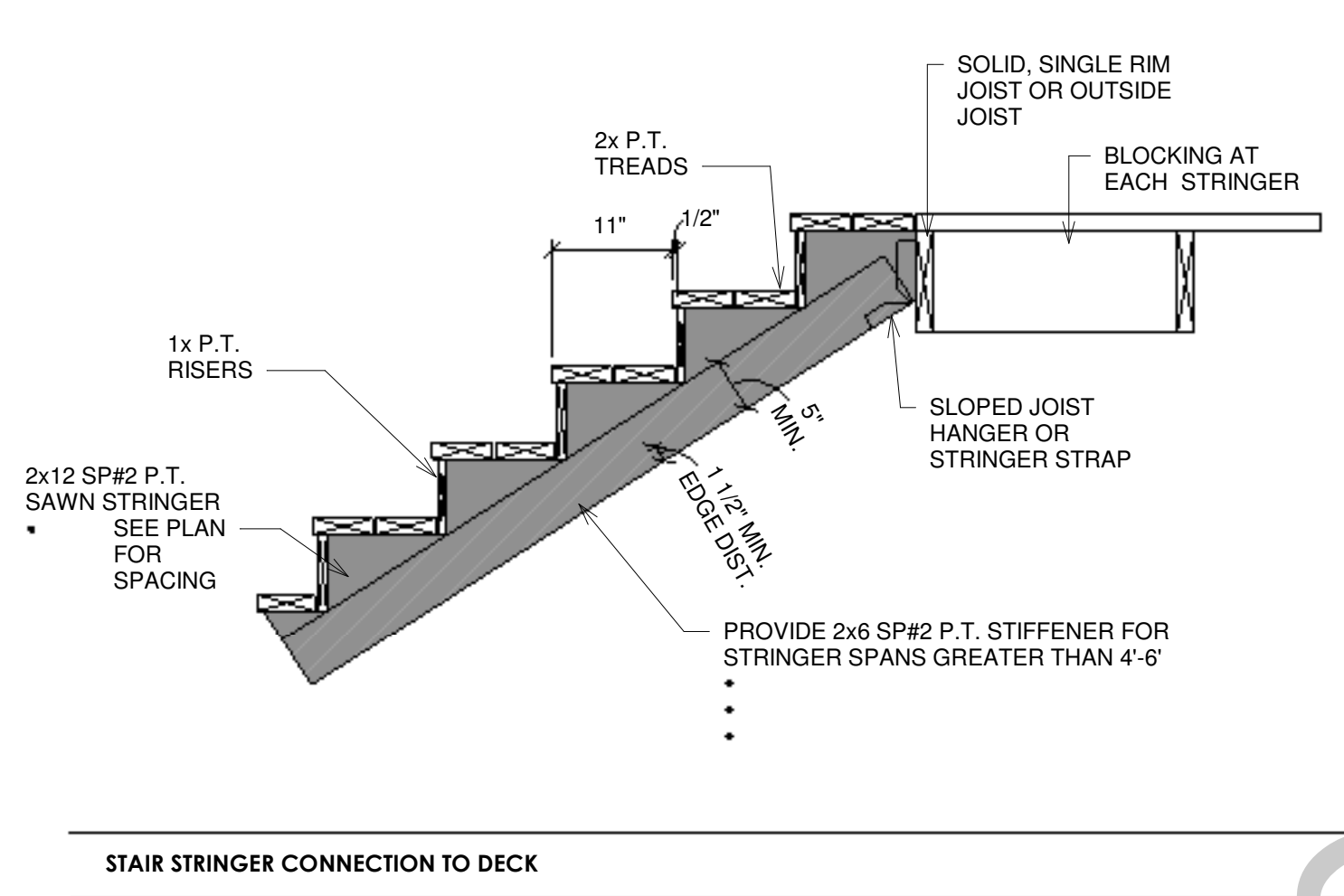
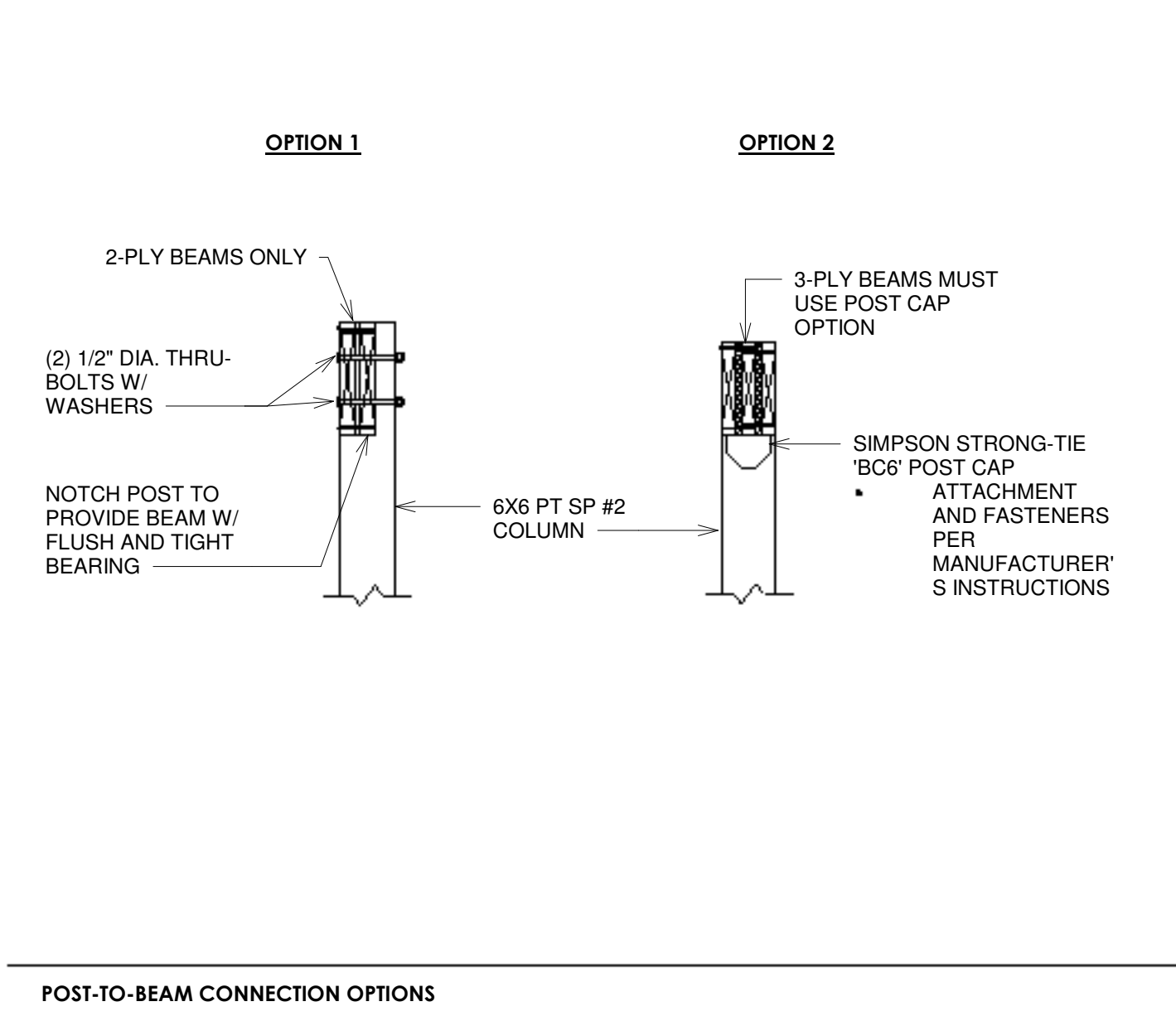
6/2/2025 3:48:36 PM

SCALE: 1/2" = 1'-0"

ARCH D 24" X 36"

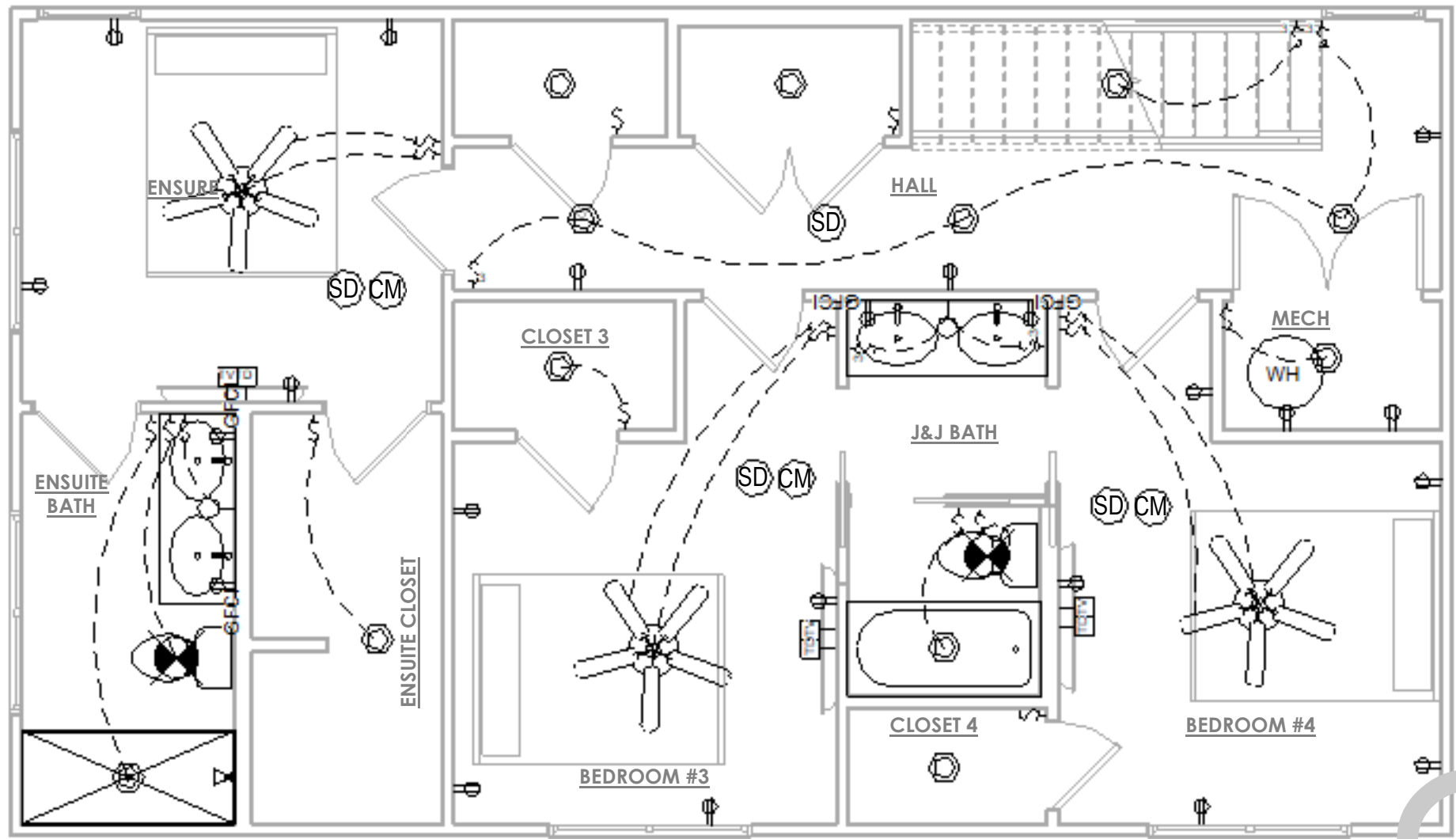
SHEET NO.

A601

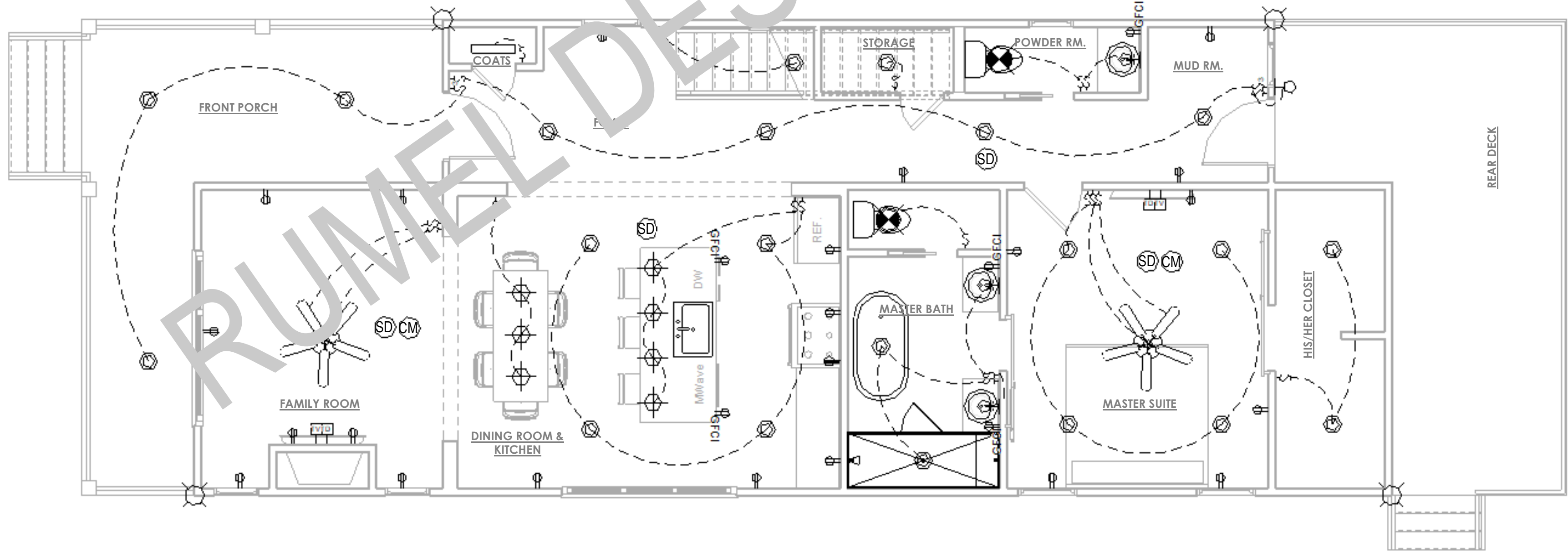


NO.	DESCRIPTION	DATE

ALL ELECTRICAL OUTLETS NOT SPECIFICALLY LOCATED BY DIMENSIONS ARE SUBJECT TO CHANGE TO MEET LOCAL ORDINANCES AND NATIONAL ELECTRICAL CODE



2 Upper Level F.F. ELECTRICAL PLAN
1/4" = 1'-0"



1 Main Level F.F. ELECTRICAL PLAN
1/4" = 1'-0"

ELECTRICAL LEGEND	
	CEILING FAN WITH LIGHT
	TV CONNECTION
	DATA JACK
	TELEPHONE JACK
	GFCI PROTECTED OUTLET
	STANDARD 110V OUTLET
	STANDARD 220V OUTLET
	PROGRAMMABLE THERMOSTAT
	LIGHT SWITCH
	3-WAY LIGHT SWITCH
	CEILING MOUND RADINAT HEATER
	ELECTRICAL PANEL
	WALL MOUNTED LIGHT FIXTURE
	FLOOD LIGHT FIXTURE
	RECESSED CEILING CAN
	PENDANT LIGHT FIXTURE
	LED STRIP LIGHT
	EXHAUST FAN
	EXHAUST FAN / LIGHT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR

REVISION SCHEDULE:		
NO.	DESCRIPTION	DATE

PROJECT NUMBER: #1

PROJECT NAME:

PROJECT OWNERS:

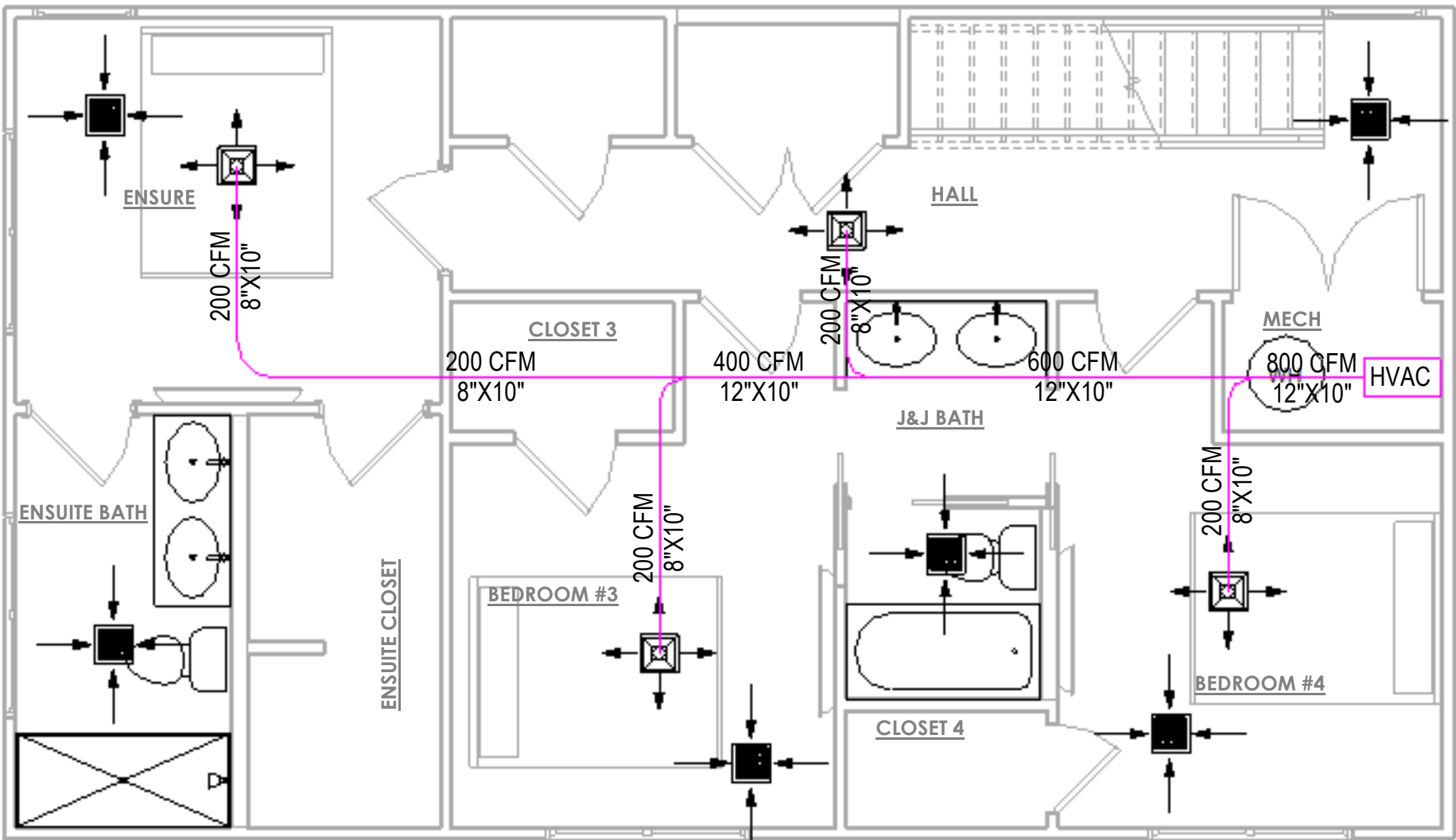
CONTRACTOR:

SHEET TITLE:
ELECTRICAL PLAN

DRAWN BY: RDE
CHECKED BY: RDE

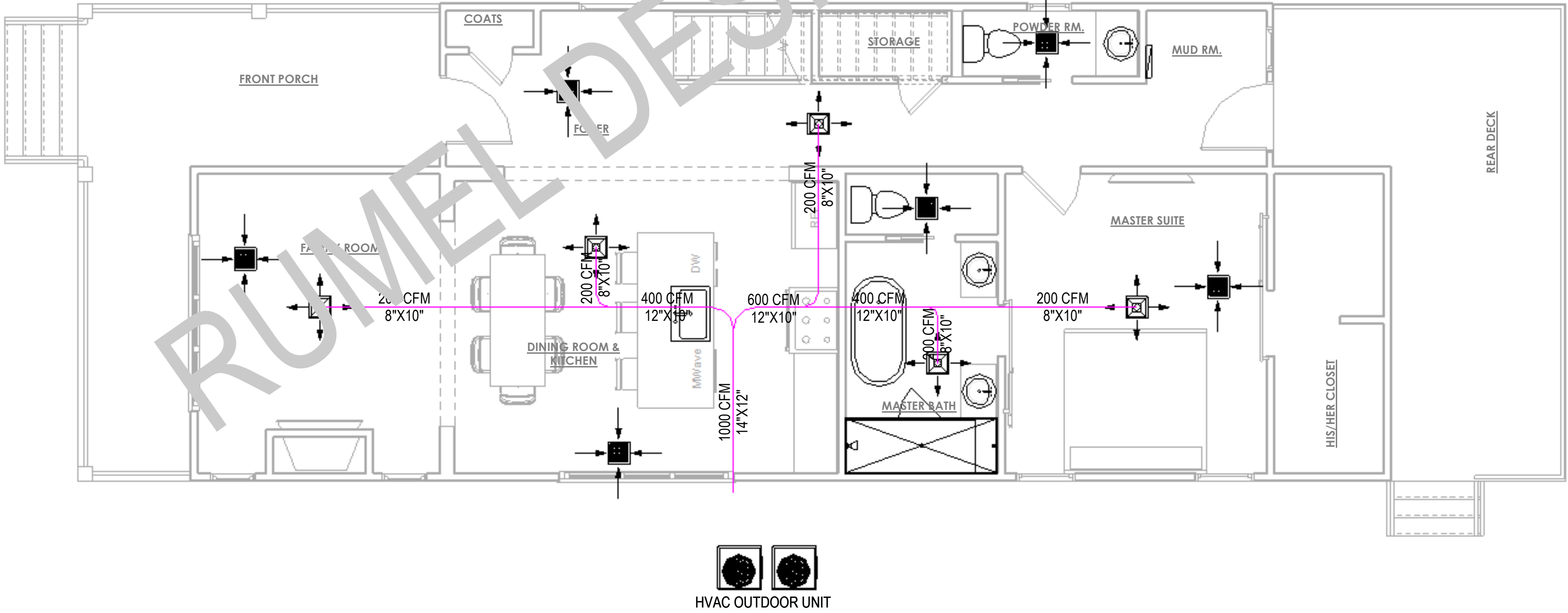
Project Status
DOCUMENT ISSUED
6/2/2025 3:48:37 PM

SCALE: As indicated ARCH D 24" X 36"
SHEET NO.



2 Upper Level F.F. HVAC PLAN
1/4" = 1'-0"

HVAC LEGEND	
SYMBOL	DESCRIPTION
	MECHANICAL UNIT
	OUTDOOR CONDENSING UNIT
	AIR SUPPLY DUCT. SIZE IS SHOWN ON PLAN
	SUPPLY AIR DIFFUSER ON CEILING
	RETURN AIR DIFFUSER ON CEILING



1 Main Level F.F. HVAC PLAN
1/4" = 1'-0"



© COPYRIGHT BY RUMEL DESIGN & ENGINEERING ALL RIGHTS RESERVED.

PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

REVISION SCHEDULE:		
NO.	DESCRIPTION	DATE

PROJECT NUMBER: #1

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
HVAC PLAN

DRAWN BY: RDE
CHECKED BY: RDE

Project Status
DOCUMENT ISSUED
6/2/2025 3:48:38 PM
SCALE: As indicated ARCH D 24" X 36"
SHEET NO.

M101

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: #1

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
PLUMBING PLAN

DRAWN BY: RDE
CHECKED BY: RDE

Project Status

DOCUMENT ISSUED

6/2/2025 3:48:38 PM

SCALE: As indicated
ARCH D 24" X 36"

SHEET NO.

P101

PLUMBING LEGEND:

1/2" COLD WATER - - - - -

1/2" HOT WATER - . - . -

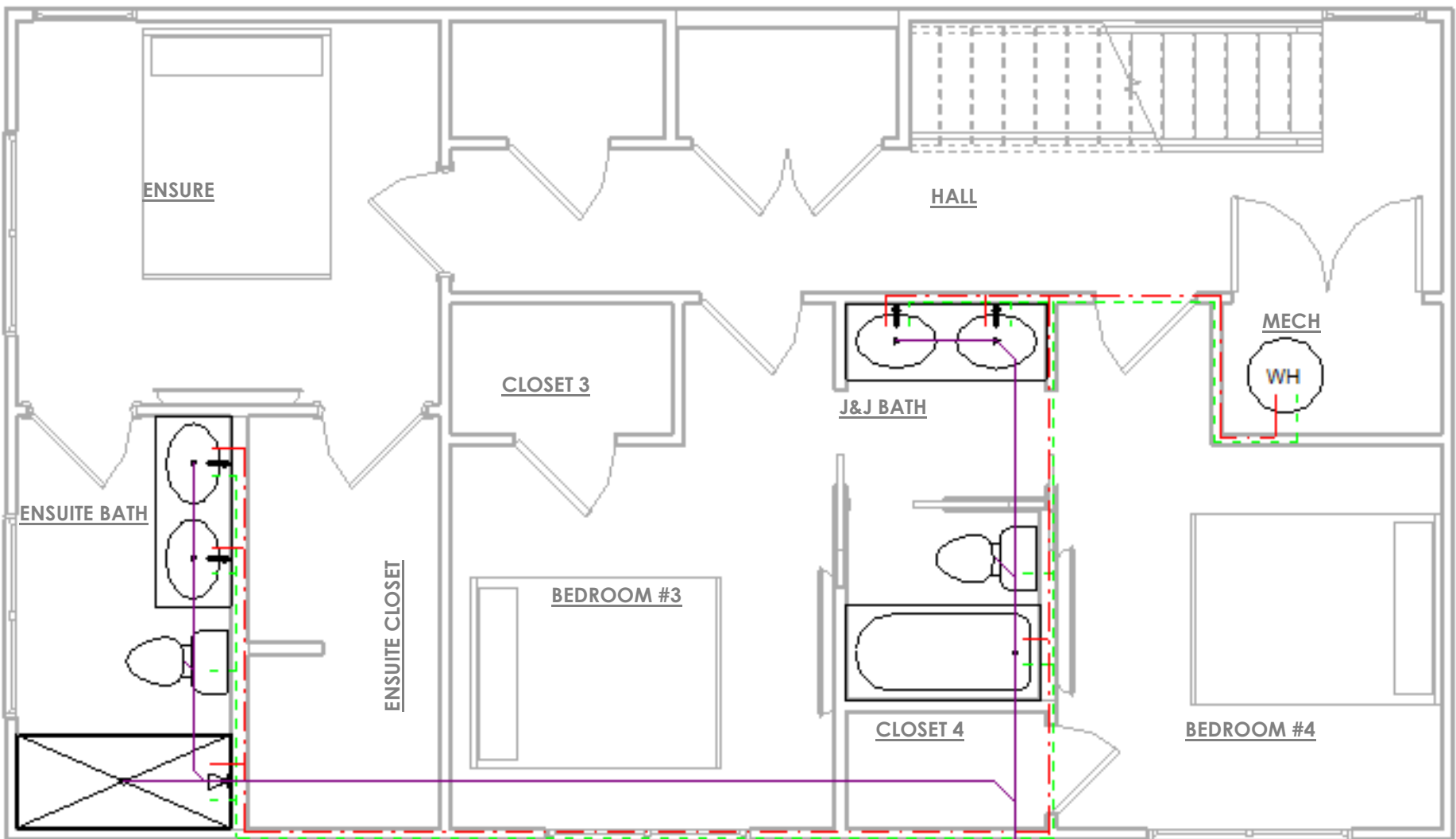
4" WASTE LINE - - - - -

WATER HEATER W.H

HOSE BIB ▲

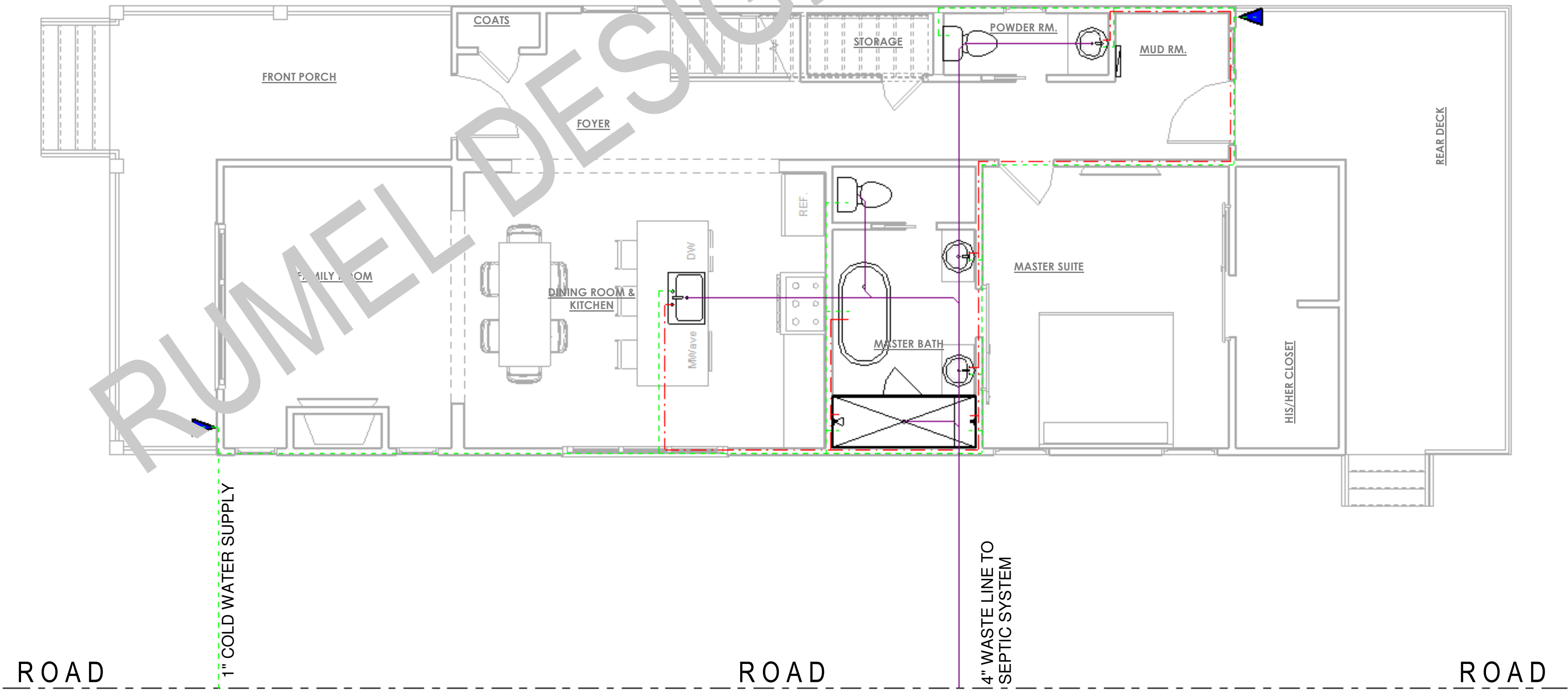
CLEAN OUT ⊖

- PLUMBING NOTES:**
1. PLUMBING SHALL MEET ALL LOCAL CODES.
 2. IF WATER HEATER IS LOCATED ANYWHERE, EXCEPT GARAGE OR BASEMENT, PROVIDE METAL DRAIN PAN WITH AUXILLARY DRAIN TO EXTERIOR.
 3. PROVIDE INSIDE MAIN WATER CUT-OFF.
 4. PROVIDE BLOCKING IF WALL PLATES OR JOISTS ARE CUT INTO.

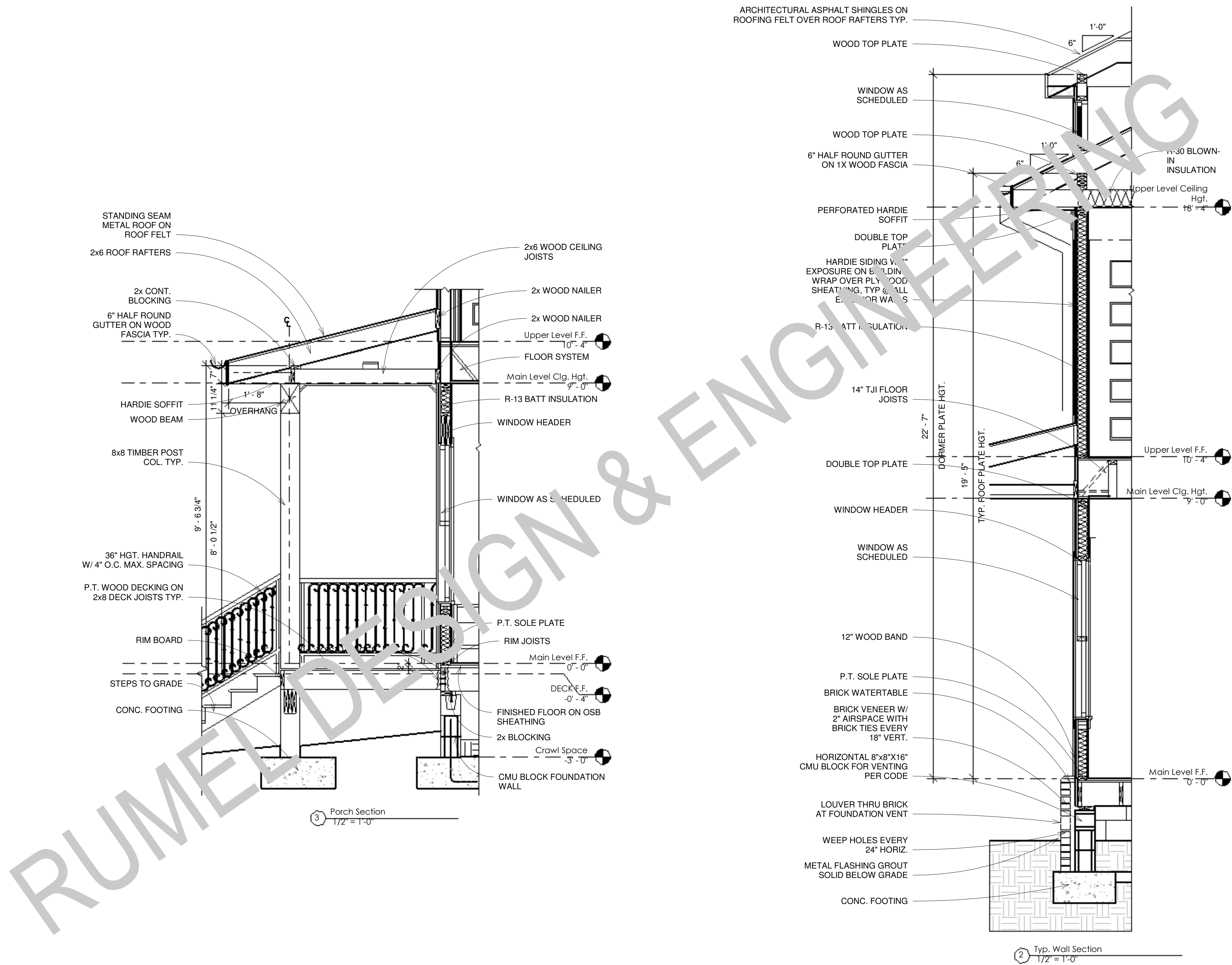


PLUMBING FROM LEVEL BELOW

② Upper Level F.F. PLUMBING PLAN
1/4" = 1'-0"



① Main Level F.F. PLUMBING PLAN
1/4" = 1'-0"



PLEASE NOTE: Rumel design & Engineering, assumes no liability for any structure constructed from this plan. It is the responsibility of the contractor to perform the following before beginning construction:
1) Contractor must verify ALL Dimensions on sheets and in field prior to proceeding with construction.
2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: #1

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
Typical Wall Section
Details

DRAWN BY: RDE
CHECKED BY: RDE

Project Status

DOCUMENT ISSUED

6/2/2025 3:48:39 PM

SCALE: 1/2" = 1'-0"

ARCH D 24" X 36"

SHEET NO.

S102