

THE CUSTOM HOUSE PLAN

NEW CONSTRUCTION



GENERAL NOTE:

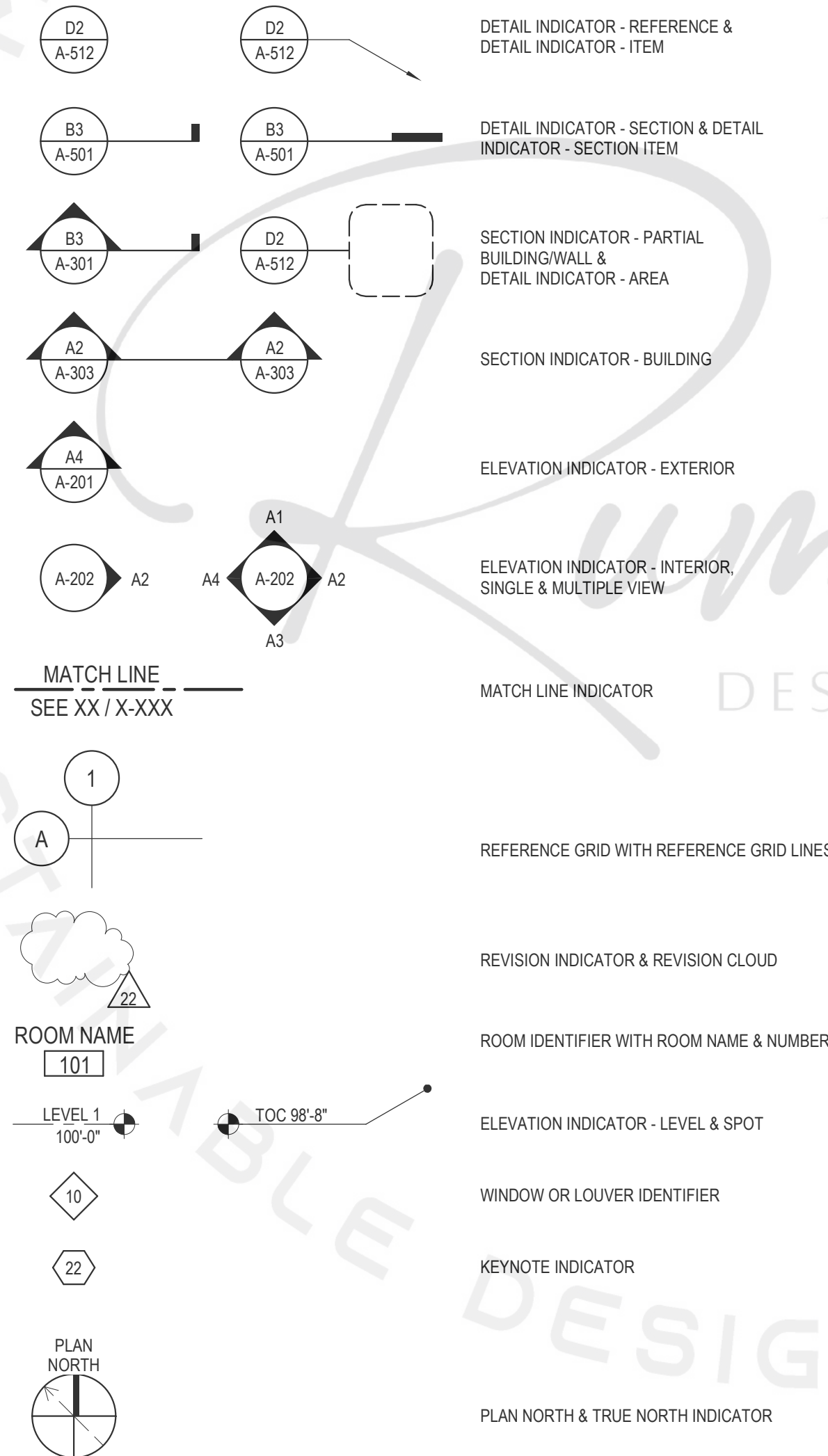
- THESE NOTES SHALL APPLY TO ALL DRAWINGS UNLESS NOTED OTHERWISE OR SHOWN. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND THEY SHALL APPLY GENERALLY THROUGHOUT SIMILAR CONDITIONS. ALL OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS AND/OR GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BY THE CONTRACTOR/BUILDER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
- ALL CONSTRUCTION SHALL CONFORM TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL LOCAL CODES PRESENTLY IN EFFECT UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED.
- THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL SUPERVISE AND DIRECT WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT/ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT/ENGINEER DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, AND THEREFORE THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
- ANYONE SUPPLYING LABOR AND/OR MATERIALS TO THE PROJECT SHALL CAREFULLY EXAMINE ALL SUBSURFACES TO RECEIVE WORK. ANY CONDITIONS DETRIMENTAL TO WORK SHALL BE REPORTED IN WRITING TO THE CONTRACTOR PRIOR TO BEGINNING WORK. COMMENCEMENT OF WORK SHALL IMPLY ACCEPTANCE OF ALL SUBSURFACES.
- ANY MATERIALS STORED AT THE SITE SHALL BE COMPLETELY SUPPORTED FREE OF THE GROUND, COVERED AND OTHERWISE PROTECTED TO AVOID DAMAGE FROM THE ELEMENTS.
- THE CONTRACTOR/BUILDER SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, LICENSES, AND ALL UTILITY CHARGES, AND ARRANGE FOR ALL REQUIRED INSPECTIONS.
- THE CONTRACTOR/BUILDER SHALL BE RESPONSIBLE FOR COORDINATING BUILDING & SITE UTILITIES BETWEEN ARCHITECTURE, CIVIL & MEP DRAWINGS. THE CONTRACTOR SHALL ALSO CONTACT ALL APPLICABLE UTILITY COMPANIES & PROVIDE CONDUIT & OTHER FACILITIES AS REQUIRED.
- THE CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS & CONDITIONS ON THE JOB SITE PRIOR TO THE CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES. IN CASES OF DISCREPANCY CONCERNING DIMENSIONS, QUANTITIES AND LOCATION, THE CONTRACTOR SHALL, IN WRITING, CALL TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES BETWEEN SPECIFICATIONS, PLANS, DETAILS OR SCHEDULES. THE ARCHITECT WILL THEN INFORM THE CONTRACTOR, IN WRITING, WHICH DOCUMENT TAKES PRECEDENCE. THERE SHALL BE NO ADJUSTMENT TO THE COST OR TIME OF THE WORK RESULTING FROM CLARIFICATION OF SUCH DISCREPANCIES.
- DIMENSIONS ON DRAWINGS ARE SHOWN TO FINISHED FACE OF WALLS AND PARTITIONS OF EXISTING OR NEW CONSTRUCTION UNLESS NOTED OTHERWISE. CEILING HEIGHT DIMENSIONS AND ALL OTHER VERTICAL DIMENSIONS ARE TO THE FINISHED FLOOR SURFACE UNLESS NOTED OTHERWISE.
- ALL MATERIALS SPECIFIED OR NOTED SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR/BUILDER SHALL BE RESPONSIBLE FOR SUBMITTING SHOP DRAWINGS, PRODUCT DATA, OR SAMPLES FOR CASEWORK, FINISHES, DOORS, FRAMES, HARDWARE, MECHANICAL, ELECTRICAL, AND PLUMBING FIXTURES, AND OTHER ITEMS REQUIRING ARCHITECTS OR CLIENT'S REVIEW FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS, AND FOR ALL ITEMS WHICH ALLOWED CONTRACTOR OPTIONS. PRIOR TO FORWARDING TO THE ARCHITECT FOR REVIEW, THESE SUBMITTALS MUST BE REVIEWED BY THE CONTRACTOR FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND OPERATIONS OF CONSTRUCTION AND SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR/BUILDER. THE CONTRACTOR/BUILDER SHALL AFFIX A STAMP TO SUBMITTAL INDICATING HIS REVIEW. SUBMITTALS FORWARDED WITHOUT A STAMP WILL BE RETURNED. ALL SUBMITTALS MUST BE REVIEWED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL GUARANTEE ALL WORK AGAINST FAULT OF ANY MATERIAL OR WORKMANSHIP FOR A PERIOD OF NOT LESS THAN ONE YEAR AFTER COMPLETION OR ACCEPTANCE. FAULTY WORK SHALL BE REPLACED OR REPAIRED AS REQUIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL COORDINATE WITH OWNER ALL ITEMS TO BE SALVAGED PRIOR TO SUBMISSION OF BIDS AND START OF CONSTRUCTION. OWNER SHALL HAVE SALVAGE RIGHTS TO RETAIN ALL REMOVED ITEMS.
- ALL CHANGES PROPOSED DURING CONSTRUCTION WHICH RESULT IN A CHANGE TO THE CONTRACT TIME AND/OR SUM SHALL BE SUBMITTED TO THE ARCHITECT IN WRITING AND APPROVED BY THE ARCHITECT AND OWNER BEFORE SUCH WORK SHALL COMMENCE.
- CONTRACTOR SHALL COORDINATE CLEAR OPENINGS FOR ALL APPLIANCES PRIOR TO CONSTRUCTION OF CASEWORK.
- CONTRACTOR SHALL FURNISH AND INSTALL CONCEALED FIRE-RETARDANT TREATED WOOD BLOCKING BEHIND ALL CABINETS, TOILET ACCESSORIES, PLUMBING FIXTURES, AND OTHER WALL MOUNTED ITEMS AS REQUIRED FOR ADEQUATE SUPPORT.
- CONTRACTOR SHALL COORDINATE ALL LOCK AND LATCH SETS AND FINAL KEYING WITH OWNER. DOUBLE KEYED LOCKS ARE NOT PERMITTED ON ANY REQUIRED OR MARKED EXIT. MATCH EXISTING KEYING SYSTEM IF ONE IS EXISTING.

- ALL DOOR HARDWARE ON EXIT DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR EFFORT.
- CONTRACTOR/BUILDER SHALL PREPARE ALL NEW AND EXISTING SURFACES SCHEDULED TO RECEIVE NEW FINISHES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THE SUBSTRATE & FINISH BEING APPLIED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING CONSTRUCTION INDICATED TO REMAIN AND SHALL REPAIR AND/OR REPLACE ALL AREAS AND/OR MATERIALS DAMAGED DURING CONSTRUCTION AT A MINIMUM TO THE CONDITION WHICH EXISTED PRIOR TO CONSTRUCTION.
- ALL NEW GLASS AND GLAZING LOCATED IN HAZARDOUS LOCATIONS AS DEFINED IN IBC SECTION 2406.3 SHALL MEET THE REQUIREMENTS FOR SAFETY GLAZING AS DEFINED IN IBC SECTION 2406.
- IF THE CONTRACTOR/BUILDER FAILS TO SUBMIT A MATERIAL FOR APPROVAL, THE MATERIAL MAY BE REQUIRED TO BE REMOVED BY HIM EITHER BY DIRECTION OF THE OWNER OR ARCHITECT.
- THE CONTRACTOR/BUILDER IS TO PROVIDE AS BUILT DRAWINGS IN HARD COPY & AN ELECTRONIC AUTOCAD FILE TO THE OWNER AT THE CONCLUSION OF THE PROJECT.
- INSTALL ELASTOMERIC JOINT SEALER AROUND ALL PIPES, DUCTWORK, & STRUCTURE PASSING THRU INTERIOR NON-RATED CONCRETE AND MASONRY WALLS, GYPSUM BOARD PARTITIONS, AND CONCRETE FLOOR/ROOF SLABS. FOR FIRE RATED INTERIOR CONCRETE AND MASONRY WALLS, GYPSUM BOARD PARTITIONS, AND CONCRETE FLOOR/ROOF SLABS SEAL ALL PIPES, DUCTWORK, AND STRUCTURE. INSTALL FIRESTOP MATERIALS IN ALL GAPS PRIOR TO SEALANT APPLICATION. INSTALL SEALER ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
- THE CONTRACTOR/BUILDER SHALL BE RESPONSIBLE TO REMOVE OR DISBURSE ANY EXCESS MATERIAL FROM PROJECT SITE.

ABBREVIATIONS:

U.N.O.	UNLESS NOTED OTHERWISE
ABV.	ABV.
SIM.	SIMILAR
CAB.	CABINET
R&S	ROD AND SHELVES
WDW.	WINDOW
CLG.	CEILING
C.O.	CASED OPENING
T	TEMPERED
GYP.	GYPSUM
CONC.	CONCRETE
TYP.	TYPICAL
O.C.	ON CENTER
CL	CENTER LINE
MECH.	MECHANICAL
FURN.	FURNACE
WH	WATER HEATER
SIM.	SIMILAR
NTS.	NOT TO SCALE
HGT.	HEIGHT
RCP	REFLECTED CEILING PLAN
HJS	HEAD, JAMB, AND SILL
EQ.	EQUAL
WD	WOOD
SCH.	SCHEDULE(D)
<E>	EGRESS
TRANS.	TRANSOM
MTL.	METAL
CMU	CONCRETE MASONRY UNIT
EXIST.	EXISTING

SYMBOLS:



PROJECT DATA

BUILDING DATA

NEW WOOD FRAME 2-STORY
SINGLE FAMILY RESIDENCE

ZONED: SEE SURVEY

SQUARE FOOTAGE (MAIN HOUSE):

PROJECT LOCATION

LOCATION MAP

VICINITY MAP

PROJECT CONTACT INFO:

SCOPE OF WORK:

APPLICABLE CODES

INTERNATIONAL BUILDING CODE
INTERNATIONAL RESIDENTIAL CODE
INTERNATIONAL FIRE CODE
INTERNATIONAL PLUMBING CODE
INTERNATIONAL MECHANICAL CODE
INTERNATIONAL FUEL GAS CODE
NATIONAL ELECTRICAL CODE
INTERNATIONAL ENERGY CONSERVATION CODE

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GET WHAT YOU ARE LOOKING FOR

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REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:

COVER SHEET

DRAWN BY:

RDE

CHECKED BY:

RDE

Project Status

DOCUMENT ISSUED

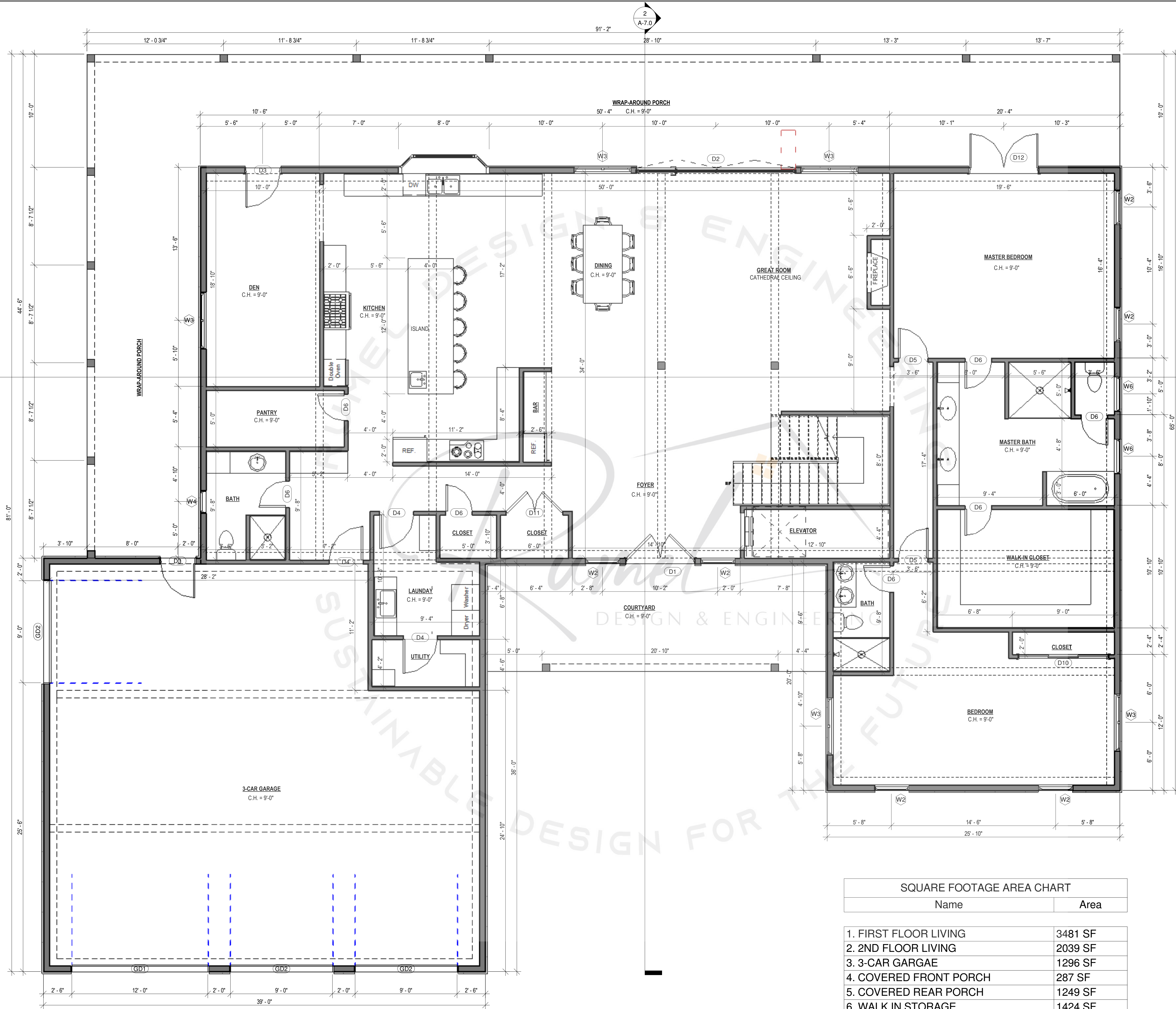
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SCALE: 1/4" = 1'-0"

ARCH D 24" X 36"

SHEET NO.

A-1.0



1 First Floor Plan
1/4" = 1'-0"

SQUARE FOOTAGE AREA CHART	
Name	Area
1. FIRST FLOOR LIVING	3481 SF
2. 2ND FLOOR LIVING	2039 SF
3. 3-CAR GARGAE	1296 SF
4. COVERED FRONT PORCH	287 SF
5. COVERED REAR PORCH	1249 SF
6. WALK IN STORAGE	1424 SF

TOTAL UNDER ROOF = 9775 SF
TOTAL HEATED AREA = 5520 SF



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REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER:

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
FIRST FLOOR PLAN

DRAWN BY: RDE
CHECKED BY: RDE

Project Status
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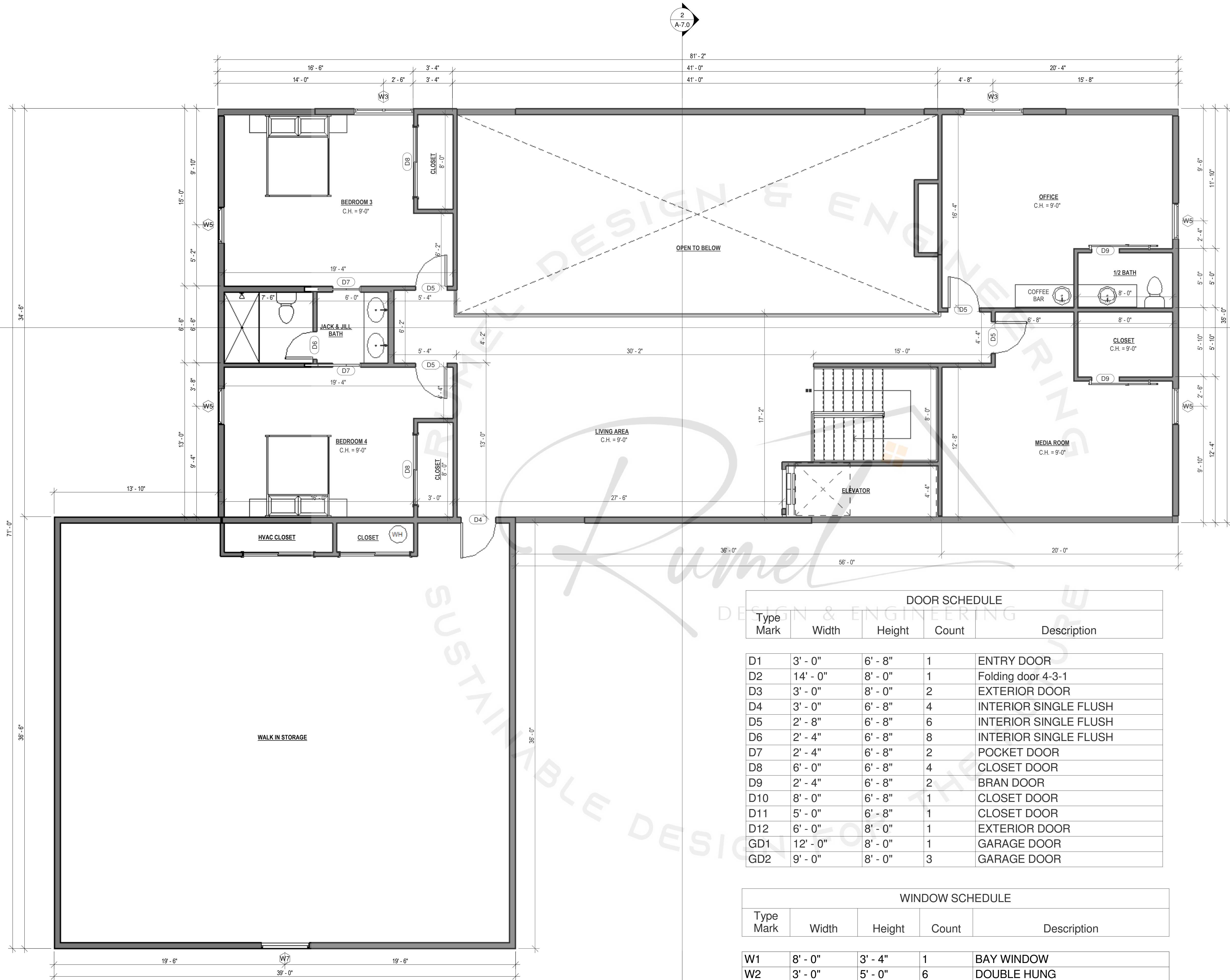
SCALE: 1/4" = 1'-0" ARCH D 24" X 36"

SHEET NO.

A-2.0

1
A-7.0

2
A-7.0



1 Second Floor Plan
1/4" = 1'-0"

DOOR SCHEDULE				
Type Mark	Width	Height	Count	Description
D1	3' - 0"	6' - 8"	1	ENTRY DOOR
D2	14' - 0"	8' - 0"	1	Folding door 4-3-1
D3	3' - 0"	8' - 0"	2	EXTERIOR DOOR
D4	3' - 0"	6' - 8"	4	INTERIOR SINGLE FLUSH
D5	2' - 8"	6' - 8"	6	INTERIOR SINGLE FLUSH
D6	2' - 4"	6' - 8"	8	INTERIOR SINGLE FLUSH
D7	2' - 4"	6' - 8"	2	POCKET DOOR
D8	6' - 0"	6' - 8"	4	CLOSET DOOR
D9	2' - 4"	6' - 8"	2	BRAN DOOR
D10	8' - 0"	6' - 8"	1	CLOSET DOOR
D11	5' - 0"	6' - 8"	1	CLOSET DOOR
D12	6' - 0"	8' - 0"	1	EXTERIOR DOOR
GD1	12' - 0"	8' - 0"	1	GARAGE DOOR
GD2	9' - 0"	8' - 0"	3	GARAGE DOOR

WINDOW SCHEDULE				
Type Mark	Width	Height	Count	Description
W1	8' - 0"	3' - 4"	1	BAY WINDOW
W2	3' - 0"	5' - 0"	6	DOUBLE HUNG
W3	5' - 0"	5' - 0"	7	DOUBLE HUNG
W4	2' - 0"	2' - 0"	1	FIXED GLASS
W5	3' - 0"	4' - 0"	4	DOUBLE HUNG
W6	3' - 0"	4' - 0"	2	FIXED GLASS
W7	4' - 0"	4' - 0"	2	FIXED GLASS
W8	3' - 0"	3' - 0"	3	FIXED GLASS

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER:

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:

**SECOND FLOOR
PLAN**

DRAWN BY:

RDE

CHECKED BY:

RDE

Project Status

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SCALE: 1/4" = 1'-0"

ARCH D 24" X 36"

SHEET NO.

A-3.0



① Front Elevation
1/4" = 1'-0"



② Rear Elevation
1/4" = 1'-0"

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
**FRONT & REAR
ELEVATION**

DRAWN BY: RDE
CHECKED BY: RDE

Project Status
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SCALE: 1/4" = 1'-0" ARCH D 24" X 36"

SHEET NO.

A-4.0



① Left Elevation
1/4" = 1'-0"



② Right Elevation
1/4" = 1'-0"

REVISION SCHEDULE:		
NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

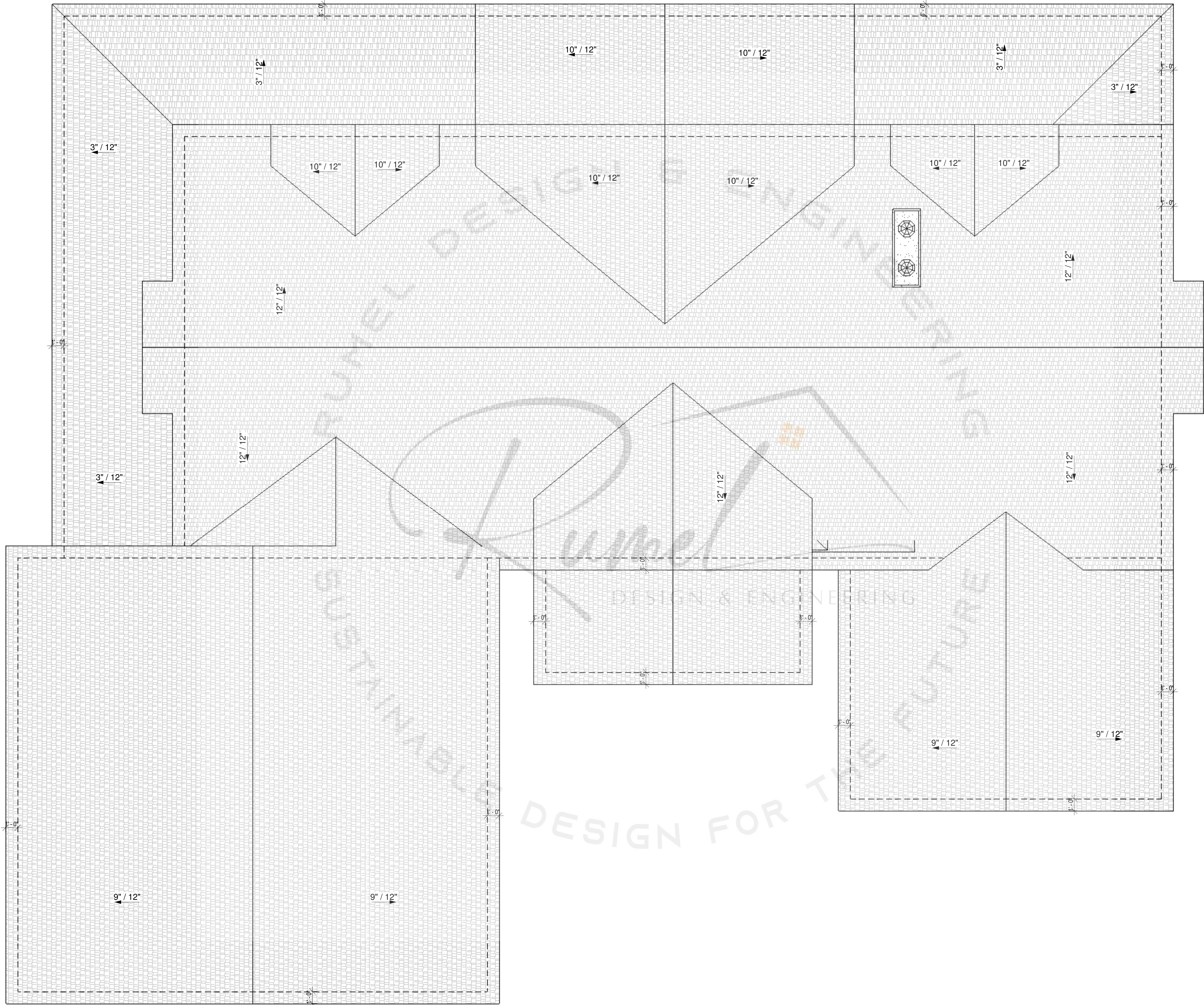
SHEET TITLE:
LEFT & RIGHT ELEVATION

DRAWN BY: RDE
CHECKED BY: RDE

Project Status
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SCALE: 1/4" = 1'-0"
ARCH D 24" X 36"

SHEET NO.



① Roof Plan
1/4" = 1'-0"

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REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
ROOF PLAN

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SCALE: 1/4" = 1'-0" ARCH D 24" X 36"

SHEET NO.

A-6.0



① Building Section-1
1/4" = 1'-0"



② Building Section-2
1/4" = 1'-0"



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PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
**BUILDING
SECTION-1&2**

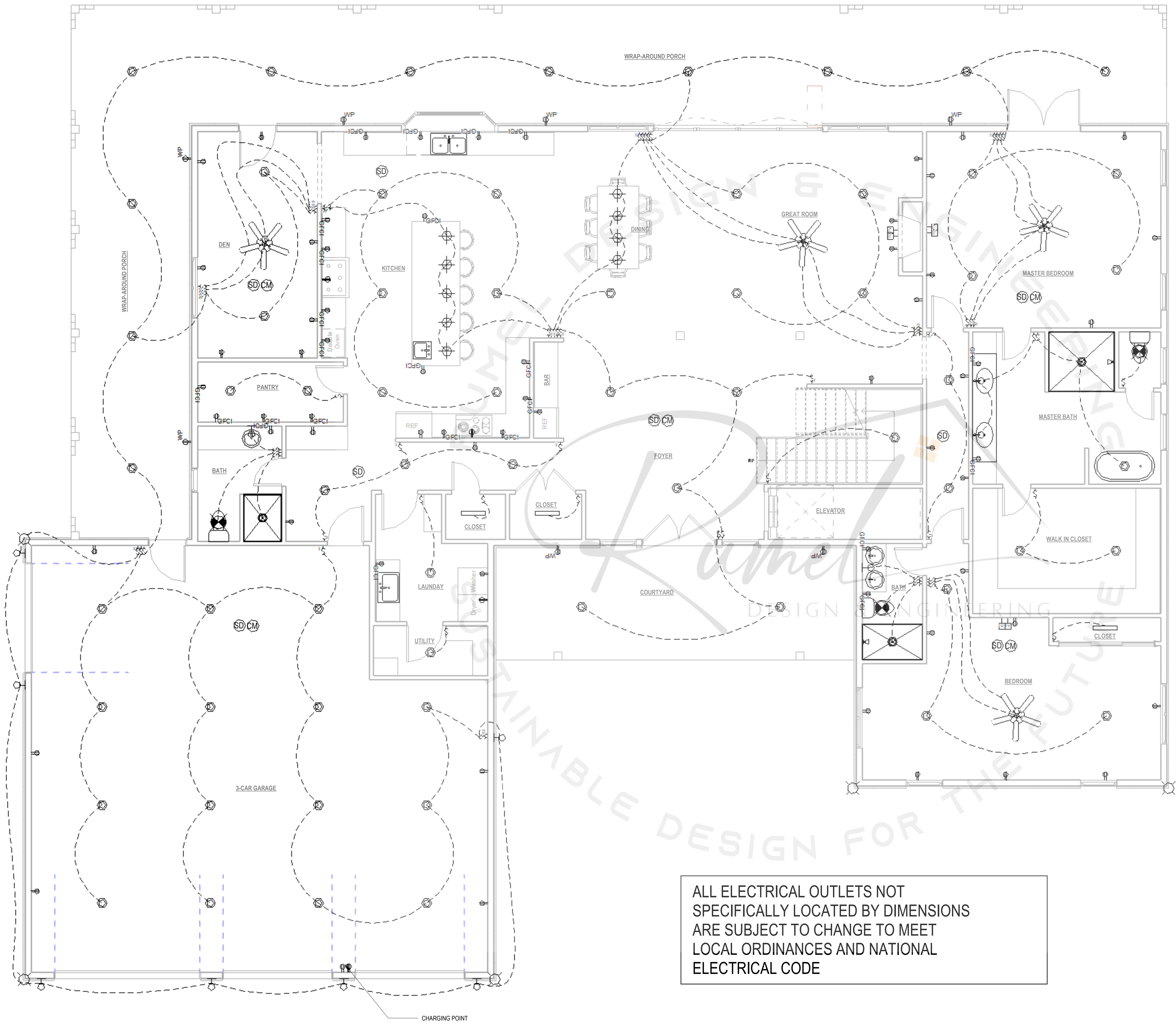
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SCALE: 1/4" = 1'-0" ARCH D 24" X 36"

SHEET NO.

A-7.0



1 First Floor Electrical Plan
1/4" = 1'-0"

ELECTRICAL LEGEND	
	CEILING FAN WITH LIGHT
	TV CONNECTION
	DATA JACK
	TELEPHONE JACK
	GFCI PROTECTED OUTLET
	STANDARD 110V OUTLET
	STANDARD 220V OUTLET
	PROGRAMMABLE THERMOSTAT
	LIGHT SWITCH
	3-WAY LIGHT SWITCH
	CEILING MOUND RADINAT HEATER
	ELECTRICAL PANEL
	WALL MOUNTED LIGHT FIXTURE
	FLOOD LIGHT FIXTURE
	RECESSED CEILING CAN
	PENDANT LIGHT FIXTURE
	LED STRIP LIGHT
	EXHAUST FAN
	EXHAUST FAN / LIGHT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

PROJECT OWNERS:

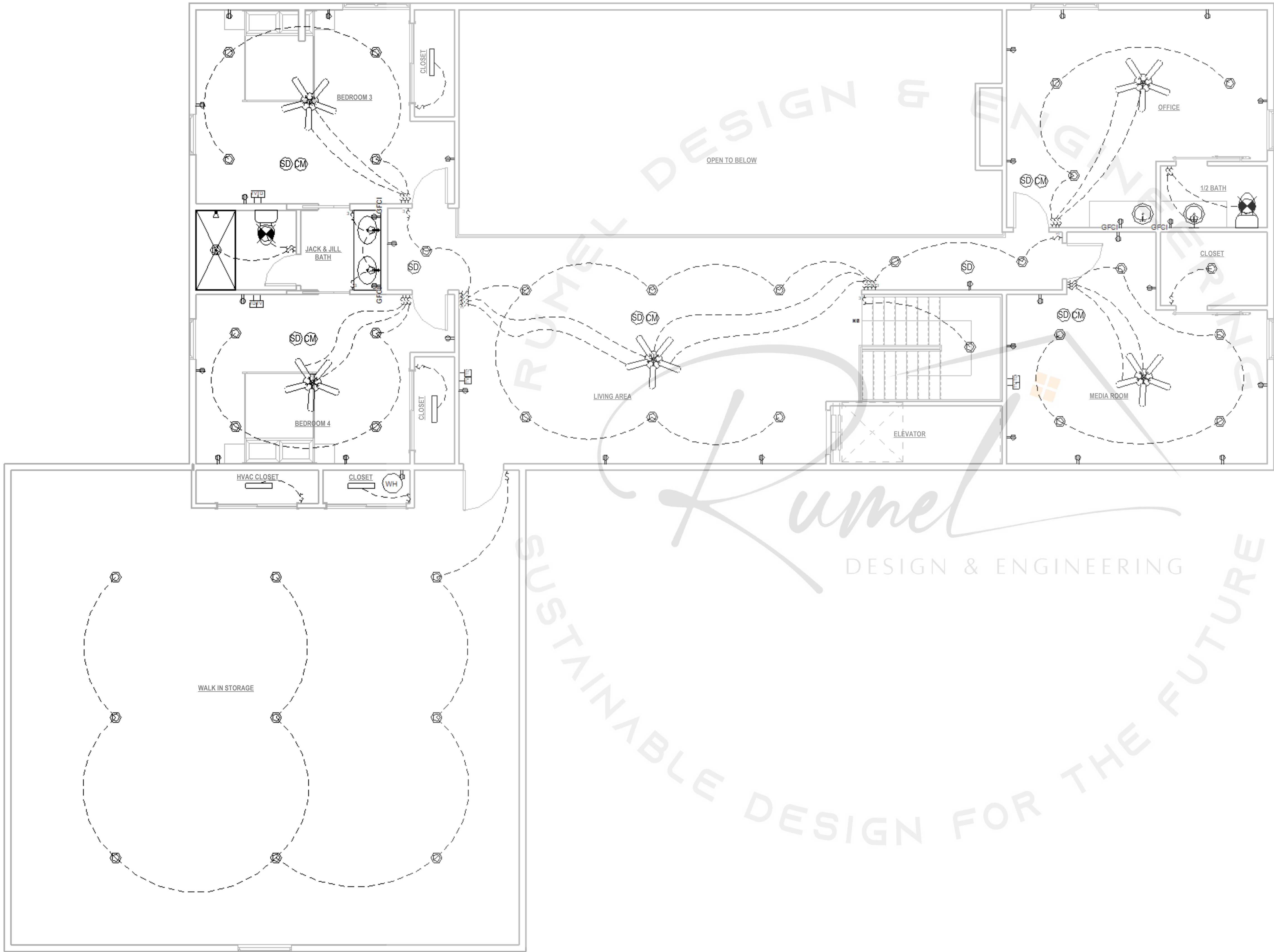
CONTRACTOR:

SHEET TITLE:
**FIRST FLOOR
ELECTRICAL PLAN**

DRAWN BY: RDE
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Project Status
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SCALE: As indicated
ARCH D 24" X 36"
SHEET NO.



ALL ELECTRICAL OUTLETS NOT SPECIFICALLY LOCATED BY DIMENSIONS ARE SUBJECT TO CHANGE TO MEET LOCAL ORDINANCES AND NATIONAL ELECTRICAL CODE

ELECTRICAL LEGEND	
	CEILING FAN WITH LIGHT
	TV CONNECTION
	DATA JACK
	TELEPHONE JACK
	GFCI PROTECTED OUTLET
	STANDARD 110V OUTLET
	STANDARD 220V OUTLET
	PROGRAMMABLE THERMOSTAT
	LIGHT SWITCH
	3-WAY LIGHT SWITCH
	CEILING MOUND RADINAT HEATER
	ELECTRICAL PANEL
	WALL MOUNTED LIGHT FIXTURE
	FLOOD LIGHT FIXTURE
	RECESSED CEILING CAN
	PENDANT LIGHT FIXTURE
	LED STRIP LIGHT
	EXHAUST FAN
	EXHAUST FAN / LIGHT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR

1 Second Floor Electrical Plan
1/4" = 1'-0"



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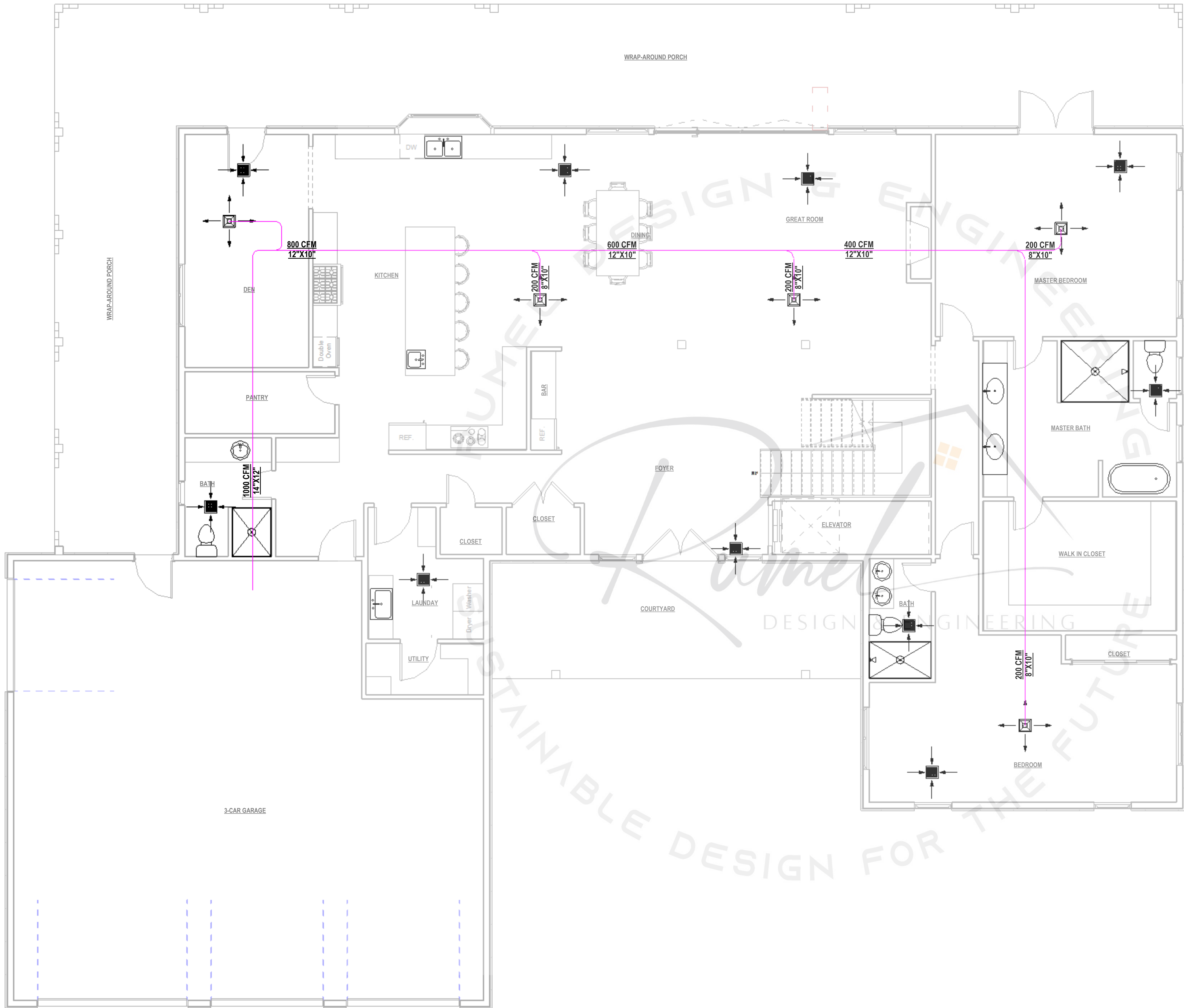
CONTRACTOR:

SHEET TITLE:
SECOND FLOOR ELECTRICAL PLAN

DRAWN BY: RDE
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Project Status
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SCALE: As indicated ARCH D 24" X 36"
SHEET NO.



HVAC LEGEND	
SYMBOL	DESCRIPTION
	MECHANICAL UNIT
	OUTDOOR CONDENSING UNIT
	AIR SUPPLY DUCT. SIZE IS SHOWN ON PLAN
	SUPPLY AIR DIFFUSER ON CEILING
	RETURN AIR DIFFUSER ON CEILING



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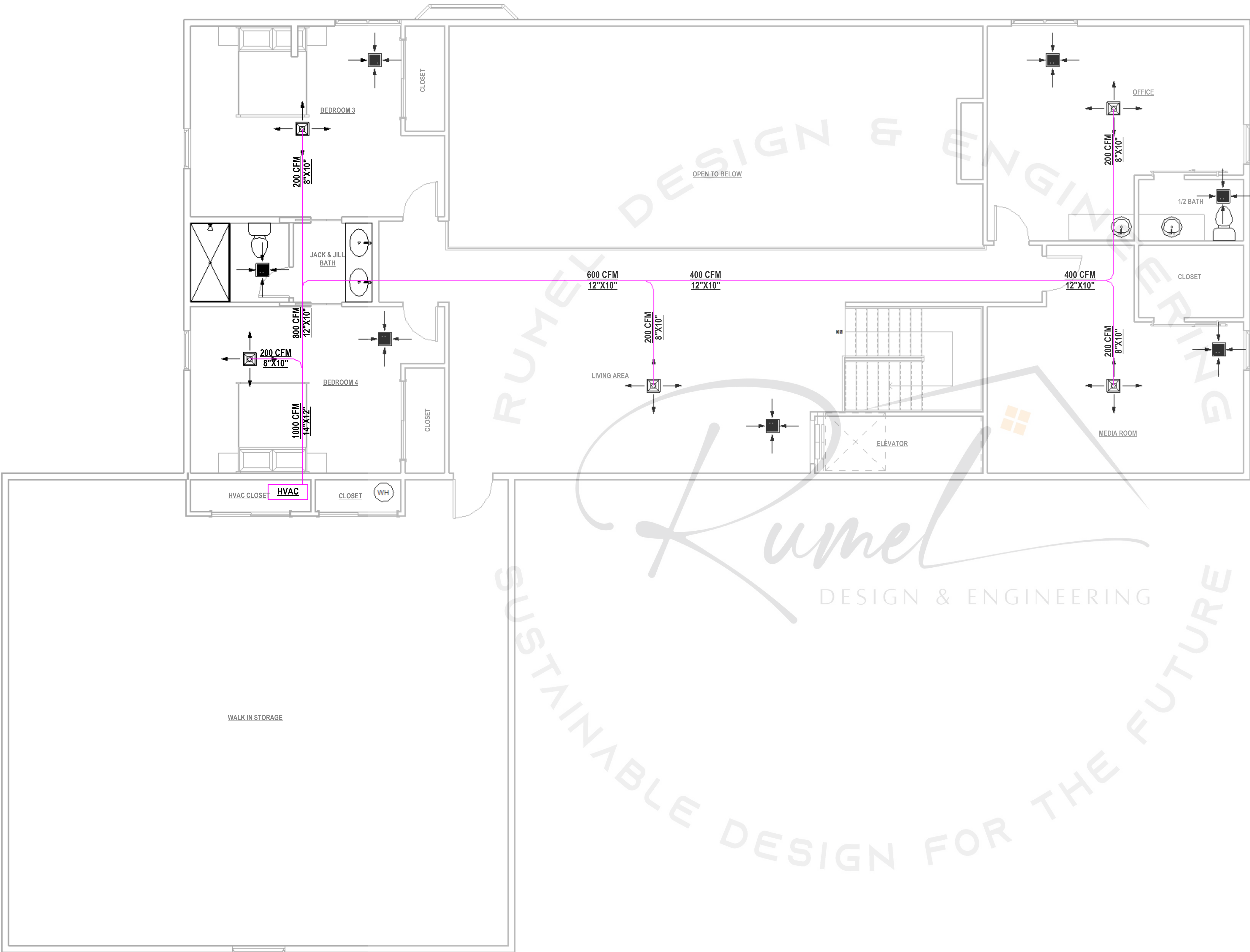
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FIRST FLOOR HVAC PLAN

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Project Status
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SCALE: As indicated ARCH D 24" X 36"
SHEET NO.

M-1.0



HVAC LEGEND	
SYMBOL	DESCRIPTION
	MECHANICAL UNIT
	OUTDOOR CONDENSING UNIT
	AIR SUPPLY DUCT. SIZE IS SHOWN ON PLAN
	SUPPLY AIR DIFFUSER ON CEILING
	RETURN AIR DIFFUSER ON CEILING

1 Second Floor HVAC Plan
1/4" = 1'-0"



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CONTRACTOR:

SHEET TITLE:
SECOND FLOOR
HVAC PLAN

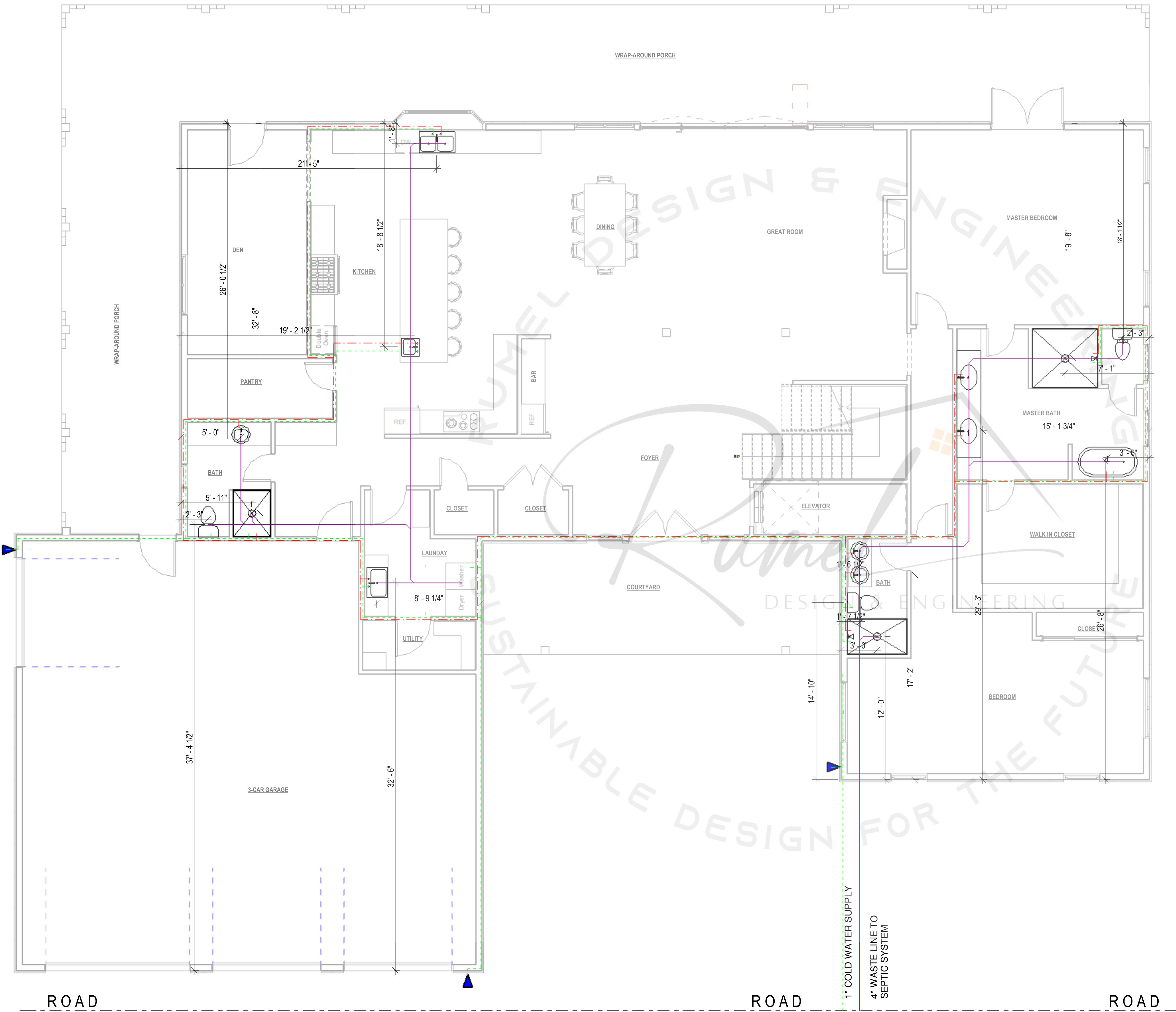
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SCALE: As indicated
ARCH D 24" X 36"

SHEET NO.

M-2.0



PLUMBING LEGEND:

- 1/2" COLD WATER ---
- 1/2" HOT WATER ---
- 4" WASTE LINE ---
- WATER HEATER W.H
- HOSE BIB ▲
- CLEAN OUT -

- PLUMBING NOTES:**
1. PLUMBING SHALL MEET ALL LOCAL CODES.
 2. IF WATER HEATER IS LOCATED ANYWHERE, EXCEPT GARAGE OR BASEMENT, PROVIDE METAL DRAIN PAN WITH AUXILIARY DRAIN TO EXTERIOR.
 3. PROVIDE INSIDE MAIN WATER CUT-OFF.
 4. PROVIDE BLOCKING IF WALL PLATES OR JOISTS ARE CUT INTO.



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- 2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.
- 3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant

REVISION SCHEDULE:		
NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

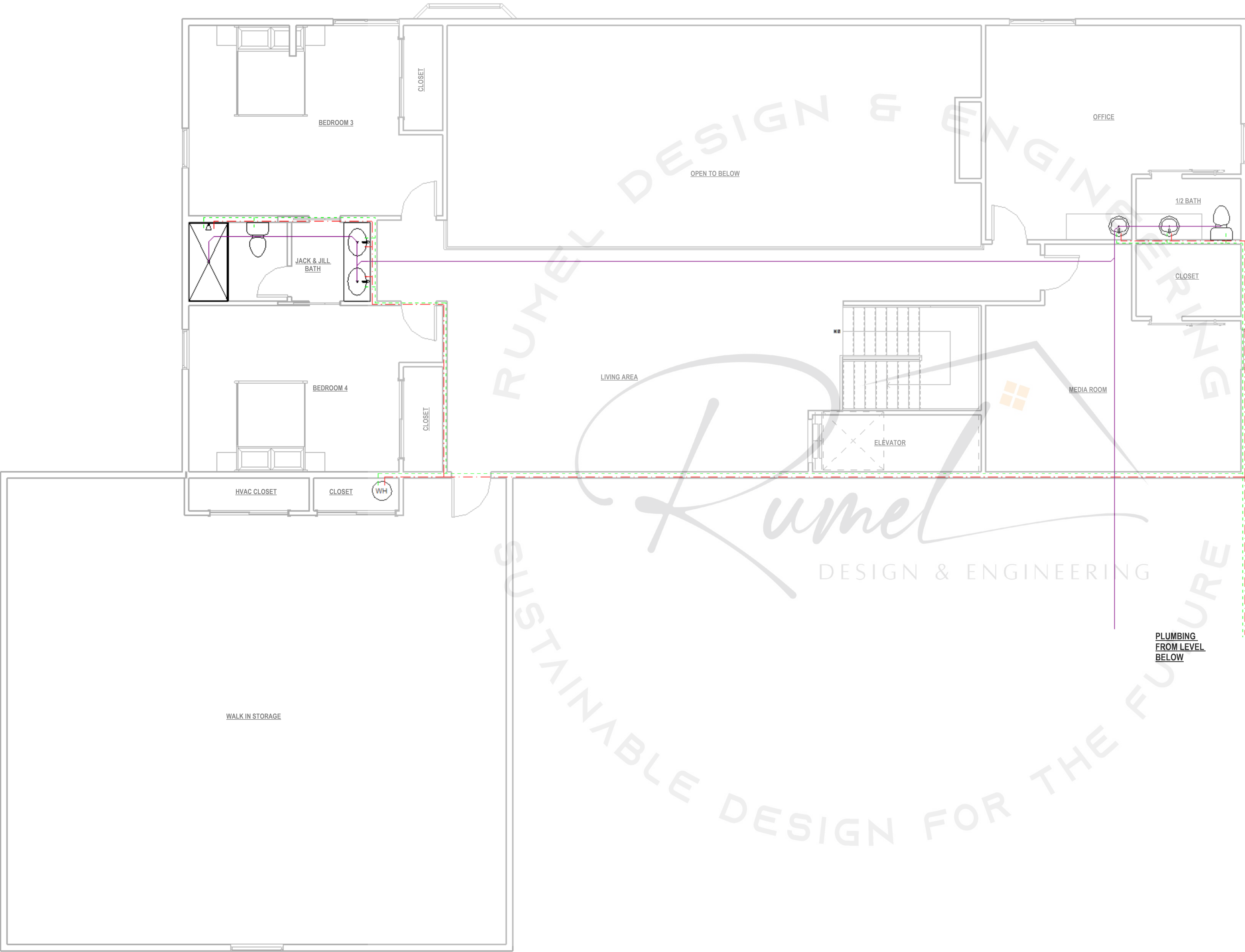
SHEET TITLE:
**FIRST FLOOR
PLUMBING**

DRAWN BY: RDE CHECKED BY: RDE

Project Status
DOCUMENT ISSUED
5/29/2025 10:06:18 PM

SCALE: As indicated ARCH D 24" X 36"
SHEET NO.

P-1.0



PLUMBING LEGEND:

1/2" COLD WATER - - - - -

1/2" HOT WATER - - - - -

4" WASTE LINE - - - - -


WATER HEATER (W.H.)

HOSE BIB ▲

CLEAN OUT ⊖

- PLUMBING NOTES:**
1. PLUMBING SHALL MEET ALL LOCAL CODES.
 2. IF WATER HEATER IS LOCATED ANYWHERE, EXCEPT GARAGE OR BASEMENT, PROVIDE METAL DRAIN PAN WITH AUXILIARY DRAIN TO EXTERIOR.
 3. PROVIDE INSIDE MAIN WATER CUT-OFF.
 4. PROVIDE BLOCKING IF WALL PLATES OR JOISTS ARE CUT INTO.

1 Second Floor Plumbing Plan
1/4" = 1'-0"



DESIGN & ENGINEERING

GET WHAT YOU ARE LOOKING FOR

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REVISION SCHEDULE:		
NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:

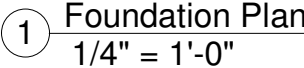
SECOND FLOOR PLUMBING PLAN

DRAWN BY: RDE

CHECKED BY: RDE

Project Status
DOCUMENT ISSUED
5/29/2025 10:06:19 PM
SCALE: As indicated
ARCH D 24" X 36"
SHEET NO.

P-2.0



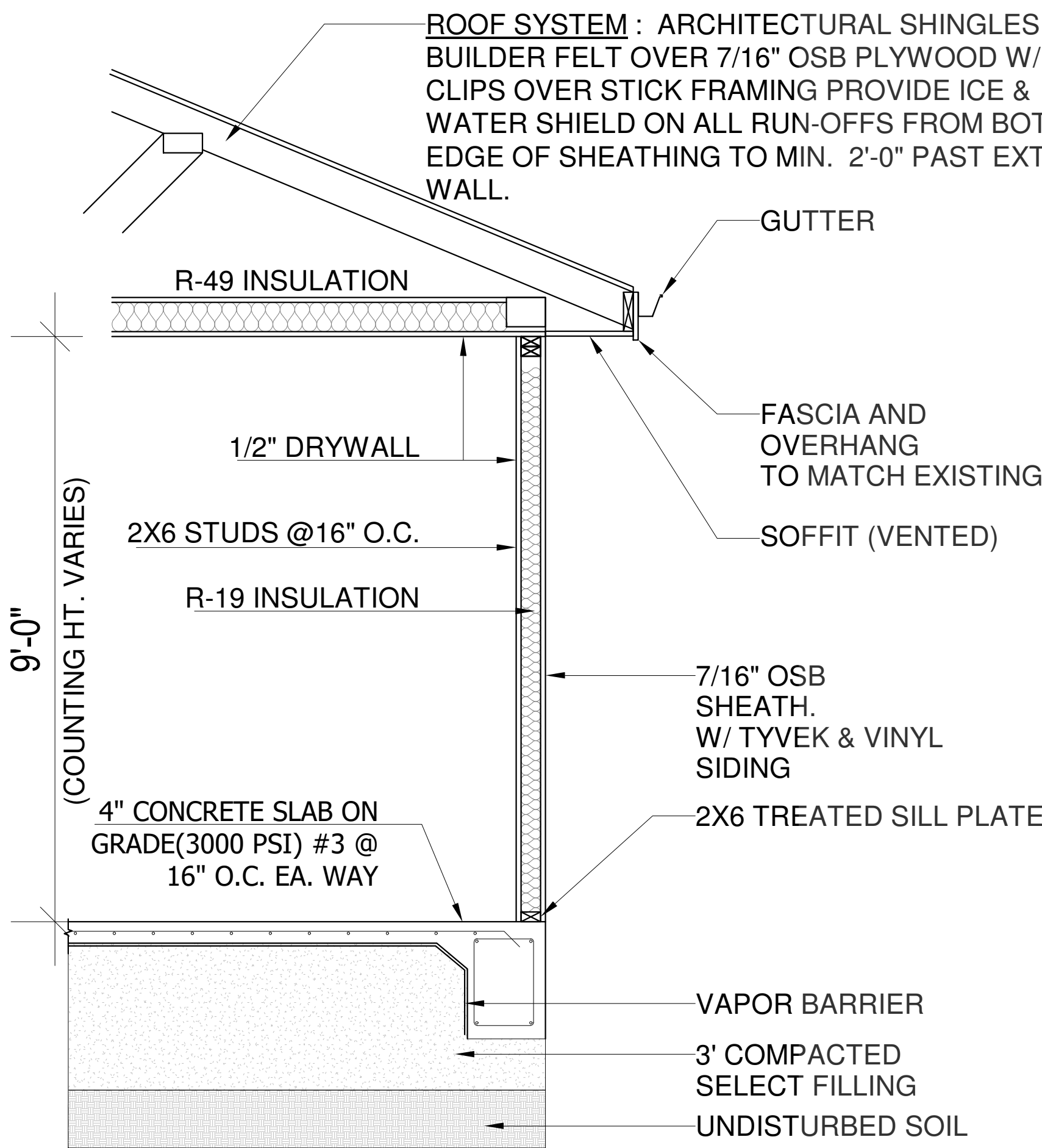
FOUNDATION NOTE:

SPECIFICATION NOTES

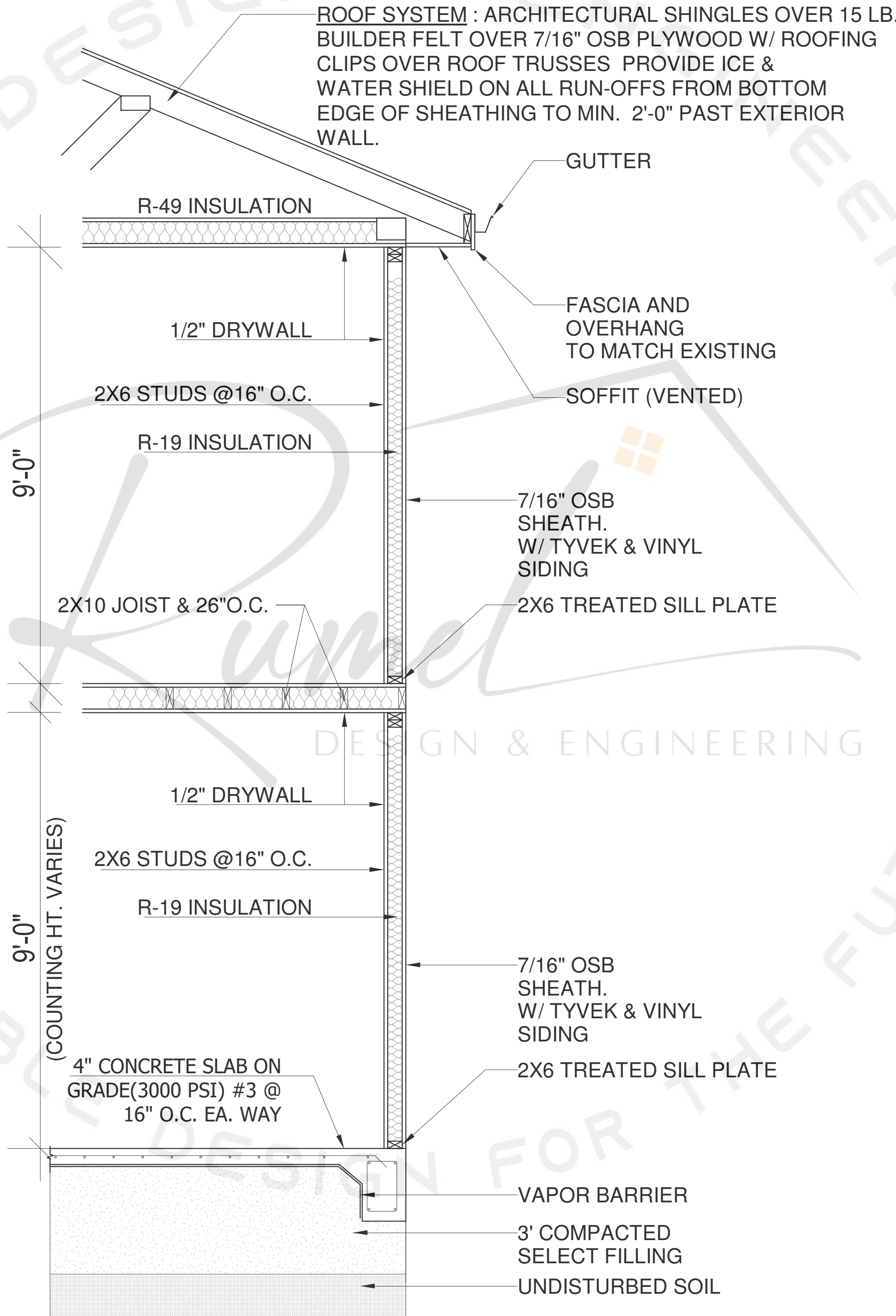
1. REINFORCED CONCRETE SHALL CONFORM TO APPLICABLE REQUIREMENTS OF THE 2012 IRC. AND ALL LOCAL CITY OR COUNTY GUIDELINES.
2. ALL CONCRETE USED IN THE FOUNDATIONS AND SLABS ON GRADE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF NOT LESS THAN 3,000 PSI.
3. THE MAXIMUM SLUMP SHALL NOT EXCEED 4 INCHES.
4. PROVED CONTROL JOINT IN ALL EXPOSED SLABS ON GRADE THE MAXIMUM SPACING OF CONTROL JOINTS SHALL BE 20' O.G. UNLESS OTHERWISE NOTED.
5. A CIVIL ENGINEER SHOULD BE CONSULTED TO VERIFY FOUNDATION PLANS AND DELTAS.
6. ADD 6" BRICK LEDGE AROUND ALL SLAB

SITE DRAINAGE:

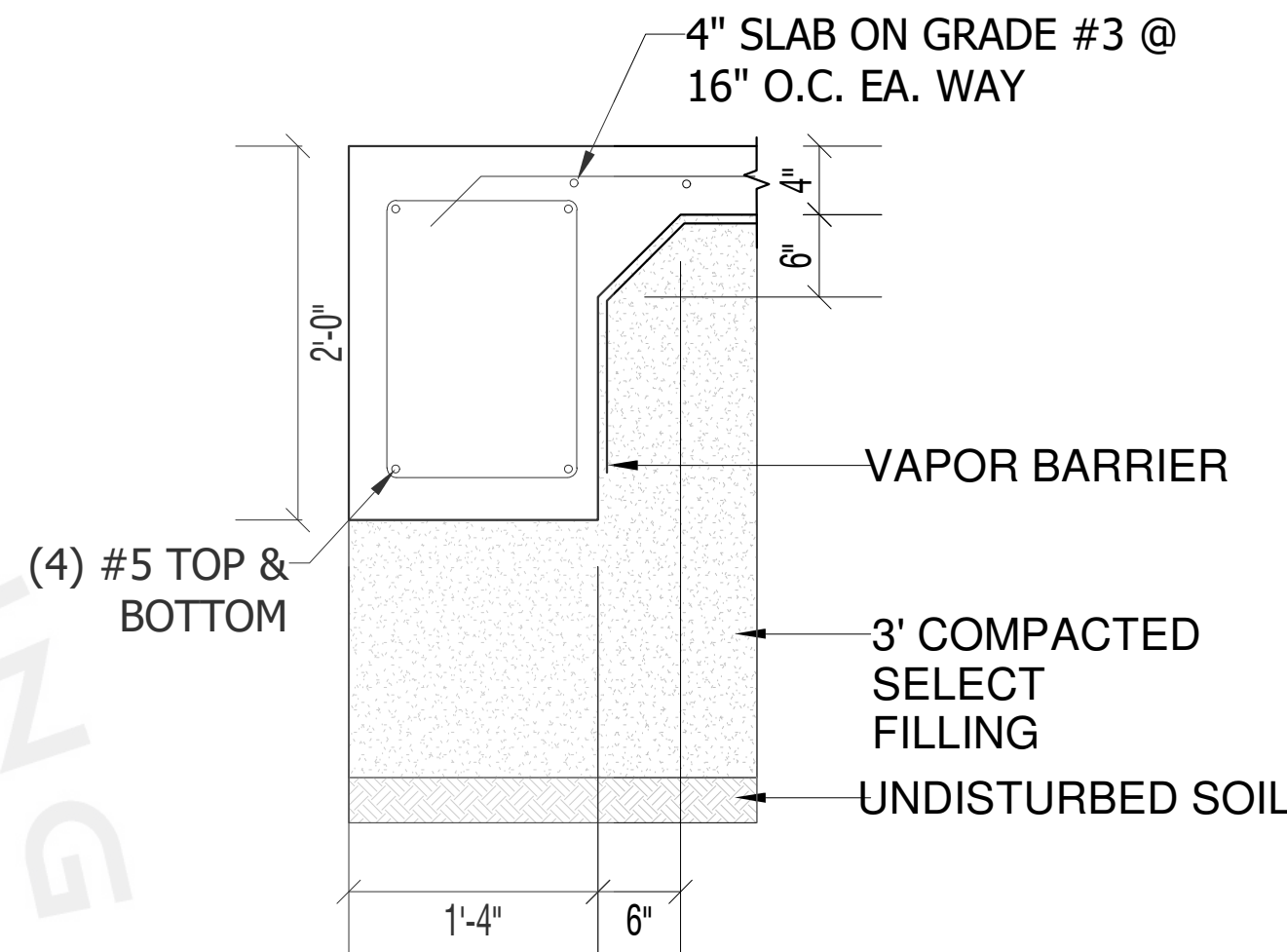
IT IS RECOMMENDED THAT THE DRAINAGE BE WELL DEVELOPED. SURFACE WATER SHOULD BE DIRECTED AWAY FROM THE FOUNDATION SOILS. USE A MINIMUM SLOPE OF 2% WITHIN 10 FEET OF THE FOUNDATION. NO PONDING OF SURFACE WATER SHALL BE ALLOWED NEAR THE STRUCTURE DURING OR AFTER COMPLETION OF THE CONSTRUCTION AND THELANDSCAPING. THE BUILDER SHALL ADVISE THE OWNER OF THE SITE DRAINAGE REQUIREMENTS.



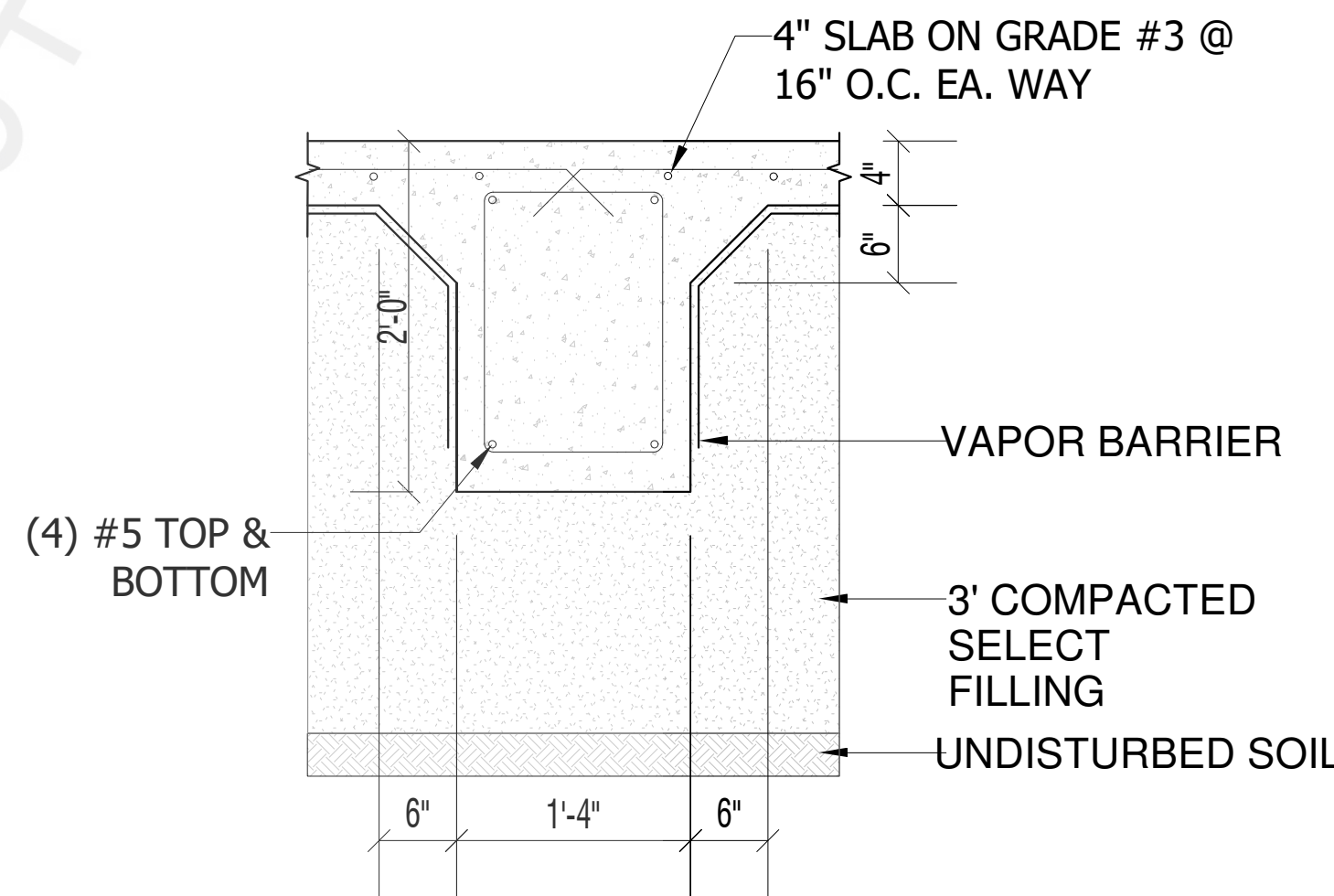
1 TYPICAL WALL SECTION -1
1/2" = 1'-0"



2 TYPICAL WALL SECTION-2
1/2" = 1'-0"



3 FOUNDATION DETAILS-1
1" = 1'-0"



4 FOUNDATION DETAILS-2
1" = 1'-0"

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER:

PROJECT NAME:

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
TYPICAL WALL
SECTION

DRAWN BY: RDE
CHECKED BY: RDE

Project Status

DOCUMENT ISSUED

5/29/2025 10:06:19 PM

SCALE: As indicated

ARCH D 24" X 36"

SHEET NO.

S-2.0